

**VILLAGE OF HUNTLEY
PLAN COMMISSION**

**May 23, 2022
6:30 PM**



AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Comments
5. Approval of Minutes
 - A. Approval of the May 9, 2022 Plan Commission Meeting Minutes
6. Petition(s)
 - A. Petition No. 21-05.04, DR Horton, Inc. - Midwest, petitioner, and Forestar Real Estate Group, Inc., owner, Relating to Phases 3 and 4 of the Cider Grove Unit 2 Subdivision, Request is for consideration of a Final Planned Unit Development and Final Plat of Subdivision for Phases 3 and 4 of the Cider Grove Unit 2 Subdivision, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
7. Public Hearing(s)
 - B. Petition No. 22-05.05, Venture One Real Estate, petitioner, and Huntley Development Limited Partnership, owner, Relating to ±44.46 acres generally located at the northwest corner of Illinois Route 47 and Jim Dhamer Drive, Huntley, IL; PIN: 02-08-401-015, Request is for consideration of (i) a Final Plat of Subdivision; (ii) Special Use Permit for a ±729,600 square foot speculative warehouse, storage and distribution facility; and (iii) Preliminary and Final Planned Unit Development, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley.
8. Discussion
9. Adjournment

MEETING LOCATION
Village Board Room
10987 Main Street
Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, please contact David Johnson, Village Manager at (847) 515-5200. The Village Board Room is handicap accessible.

VILLAGE OF HUNTLEY
PLAN COMMISSION MEETING
Monday, May 9, 2022
MINUTES

5

CALL TO ORDER

Chairwoman Dawn Ellison called to order the Village of Huntley Plan Commission meeting for May 9, 2022 at 6:30 p.m. The meeting was held in the Municipal Complex Village Board Room at 10987 Main Street, Huntley, Illinois 60142.

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PLEDGE OF ALLEGIANCE

Chairwoman Ellison led the Pledge of Allegiance.

ROLL CALL

15

PLAN

COMMISSIONERS: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O’Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison.

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COMMISSIONERS

ABSENT: None.

ALSO PRESENT: Director of Development Services Charles Nordman and Senior Planner Scott Bernacki

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4. **Public Comment** None

5. **Approval of Minutes**

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A. Approval of the April 11, 2022 Plan Commission Meeting Minutes

A MOTION was made to approve the April 11, 2022 Plan Commission Meeting Minutes.

MOVED: Commissioner Dennis O’Leary

SECONDED: Vice Chair Ric Zydorowicz

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AYES: Commissioners Ron Hahn, Jeff Peterson, Dennis O’Leary, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison

NAYS: None

ABSTAIN: Commissioner Joseph Holtorf and Terra DeBaltz

MOTION CARRIED 5:0:2

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6. **Public Hearing(s)**

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A. Petition No. 22-05.01, Peter Carzoli & Elizabeth Pondel – Petropoulous owner/petitioner, Relating to ±0.9 acres at 12380 and 12390 Oakcrest Drive (Lot 3 & 4 in the Holst Subdivision Unit 2), Request is for approval of (i) a Final Plat of Consolidation; and (ii) an Amendment to PUD Ordinance (O)2003.01.10, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley.

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Chairwoman Ellison turned to Village staff to begin the PowerPoint presentation to review the petition.

Senior Planner Scott Bernacki introduced the request from the petitioner to construct a new single family home upon a newly consolidated lot. It was presented that the proposed plat of consolidation to merge lots 3 and 4 of the Holst Subdivision Unit 2 met the minimum lot area and width requirements for the “RE-2 (PUD)” zoning district.

The site plan was reviewed to show the construction of a single story ±2,289 square foot single family home and that the siting of the home met all required building setback requirements for the zoning district. It was summarized that Ordinance 2003.01.10 for the Oakcrest Estates Subdivision states that homes constructed within the subdivision are to be a minimum of 2,700 square feet and that the petitioners are requesting an amendment to the ordinance to allow for the construction of the proposed ±2,289 square foot home. The ordinance also requires that a tree preservation plan be submitted and approved by the Village. It was noted that the tree survey provided by the petitioner identified four trees that required removal to accommodate the development and the petitioners understand that those trees shall be replaced elsewhere on the lot within two years of occupancy.

Planner Bernacki stated that Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board including:

1. All public improvements and site development must occur in full compliance with all applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. Upon submitting for a building permit, the petitioner shall provide a plan for replacing the four (4) trees that will be removed to accommodate construction of the house.
3. No building construction permits, plans, or Certificates of Occupancy are approved as part of this submittal.

Chairwoman Ellison thanked Planner Bernacki and requested a motion from the Commission to open the public hearing.

A MOTION was made to open the public hearing to consider Petition No. 22-05.01

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| MOVED: | Commissioner Terra DeBaltz |
| SECONDED: | Commissioner Ron Hahn |
| AYES: | Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O’Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison |
| NAYS: | None |
| ABSTAIN: | None |
| MOTION CARRIED | 7:0:0 |

Chairwoman Ellison stated that this is a public hearing and anyone wishing to testify must be sworn in. The following persons were sworn in: Senior Planner Scott Bernacki, Petitioners Peter Carzoli and Elizabeth Pondel, and John and Patricia Dub of 12350 Oakcrest Drive.

Chairwoman Ellison asked if the petitioner had anything to add or present to which Peter Carzoli and Elizabeth Pondel had nothing further to add and made themselves available for questioning.

Chairwoman Ellison asked if any members of the public had any comments to add to which John Dub of 12350 Oakcrest Drive stated he was one of the original owners in the subdivision and all past petitions to the HOA to construct smaller homes had been denied. A statement was made that the two lots were intended for two homes, and the consolidation limits the potential for additional home development in the subdivision and thus subsequent taxes collected. Concern was also expressed about lowering the square footage requirement for the subdivision and the precedent it could set for development upon the remaining vacant lots in the subdivision. It was also said that allowing homes to be constructed with lesser square footage in the subdivision could inequitably disperse the tax burden for those existing homeowners in the subdivision who did abide by the minimum 2,700 square foot ordinance.

Peter Carzoli and Elizabeth Pondel responded by stating their custom home was designed to preserve the oak savanna, and that due to the unique shape of the lot and location of the existing trees, consolidation was necessary to establish the least intrusive building footprint. The petitioners explained that constructing two homes on the existing lots would result in the unnecessary removal of many more trees and negatively impact the character of this area of the subdivision. They also explained how any added square footage to their floorplan would result in additional tree

loss. The petitioners stated the construction estimate for the home was \$975,000 and contend that the proposed reduced square footage would not be a detriment to the taxing bodies or the existing home values in the subdivision.

5 Commissioner Ron Hahn shared that if any lots would be acceptable to combine, it would be these two lots, particularly based on lot 3's shape, however, he expressed that it would be unfair to the existing residents in the subdivision to adjust the Ordinance to allow for a smaller home on the lot.

10 Planner Bernacki mentioned for the consideration of the board that a letter of support was provided by the HOA. Mr. Dub stated that none of the homeowners were asked about this matter.

Commissioner Joseph Holtorf considered the odd shape of the lot and stated that lot 3 would appear extremely difficult to build upon on its own. He mentioned that given the consolidation of the lots, the petitioners might be able to readjust their plans to accommodate the required 2,700 square foot minimum.

15 Commissioner Jeff Peterson agreed with Commissioner Holtorf in asking the petitioner if they would consider increasing the footage of their home to avoid the amendment to the Ordinance.

20 Chairwoman Dawn Ellison mentioned that the proposed building is wider than those homes in the area, so there is not the appearance from the street of the home being smaller than 2,700 square feet. It was said that a home of this quality being built on the land adjacent to the railroad should be considered a positive to the subdivision.

Vice Chair Zydorowicz questioned the petitioners if the increase in square footage could be accommodated? The petitioners responded that the square footage can be increased, but at what financial cost or loss of additional trees.

25 Commissioner O'Leary mirrored the comments of Commissioner Holtorf, Peterson, and Vice Chair Zydorowicz, that he was in agreement with the plat of consolidation, but the Ordinance requiring the minimum square footage should be upheld.

30 Commissioner Terra DeBaltz stated that the custom quality of the home would fit well with the character of the neighborhood. It was said that the petitioner's request was not out of line with the intent of the Ordinance, and that she would be willing to consider a modified minimum square footage.

35 Discussion continued over what lots are vacant and for sale and what the decision to amend to the ordinance in this circumstance may mean for the future development of the remaining lots. Mrs. Dub claimed that this square footage reduction, if approved, would set a precedent. Director Nordman clarified that if an amendment was recommended for approval, it is only applicable to this project and any other lot owner would need to seek the same approvals.

40 Chairwoman Ellison asked for any final comments to which Commissioner Peterson mentioned that after hearing all of the testimony that an appropriate compromise may be to condition approval of the plan with a minimum of 2,500 square feet.

There were no further comments. Chairwoman Ellison requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 22-05.01

45 **MOVED:** Commissioner Terra DeBaltz
SECONDED: Vice Chair Ric Zydorowicz
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O'Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison
50 **NAYS:** None
ABSTAIN: None
MOTION CARRIED 7:0:0

Chairwoman Ellison requested a motion to approve the petition.

A MOTION was made to approve Petition No. 22-05.01, Requesting approval of (i) a Final Plat of Consolidation; and (ii) an Amendment to PUD Ordinance (O)2003.01.10, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley subject to the following conditions:

1. All public improvements and site development must occur in full compliance with all applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. Upon submitting for a building permit, the petitioner shall provide a plan for replacing the four (4) trees that will be removed to accommodate construction of the house.
3. No building construction permits, plans, or Certificates of Occupancy are approved as part of this submittal.

The Plan Commission added the following conditions:

4. The petitioner shall present a plan to the Development Services Department that increases the square footage of the proposed home to a minimum of 2,500 square feet.

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| MOVED: | Commissioner Terra DeBaltz |
| SECONDED: | Commissioner Joseph Holtorf |
| AYES: | Commissioners Joseph Holtorf, Jeff Peterson, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison |
| NAYS: | Commissioners Ron Hahn and Dennis O'Leary |
| ABSTAIN: | None |
| MOTION CARRIED | 5:2:0 |

- B. Petition No. 22-05.02, Huntley II LLC, petitioner, and Reiche Construction Inc., owner, Relating to ±10.36 acres located at 13801 George Bush Court (Lot 2 in the Huntley Corporate Park Phase 3), Request is for approval of (i) Site Plan Review, including any necessary relief; (ii) a Special Use Permit for a speculative Warehouse, Storage, and Distribution use in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley.

Chairwoman Ellison turned to Village staff to begin the PowerPoint presentation to review the petition.

Senior Planner Scott Bernacki introduced the project for the proposed ±175,600 square foot speculative warehouse, storage and distribution facility. The site plan was reviewed to show the proposed building has been sited to comply with the platted building setback lines and that the site has provided a compliant number of passenger parking spaces. It was noted that the petitioner proposes a 15 foot parking setback for the parking along the I-90 frontage, rather than the required 25 feet. The renderings presented described the precast panels with two story glass and an entrance awning looking onto the tollway. The elevations were presented to show 20 depressed loading docks and 4 drive in doors on the north facing facade. Landscape plans were discussed to offer 130 trees and 275 shrubs. It was mentioned that the proposed site plan has a lot coverage of 83.4% which would require relief from the Zoning Ordinance as there is a 25% open space requirement. It was mentioned that the light fixtures would be the same, and mounted at the same height as utilized in the neighboring development. It was explained that the petitioner proposed to operate a speculative warehouse, storage and distribution facility, which would require a special use in the district.

Planner Bernacki stated that Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board including:

1. All public improvements and site development must occur in full compliance with all applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. The outdoor storage of shipping/cargo containers shall be prohibited.

4. Tractor trailer parking spaces shall be for occupants of the building only. The tractor trailer parking spaces shall not be leased to an off-premise business by the owner or tenant of the building.
5. Additional screening shall be required if the rooftop mechanical equipment is not fully screened by the building's parapet wall.
- 5 6. No building construction permits, plans, sign permits, or Certificates of Occupancy are approved as part of this submittal.

Chairwoman Ellison thanked Planner Bernacki and requested a motion from the Commission to open the public hearing.

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A MOTION was made to open the public hearing to consider Petition No. 22-05.02

MOVED: Vice Chair Ric Zydorowicz
SECONDED: Commissioner Jeff Peterson
15 **AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O'Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison**
NAYS: None
ABSTAIN: None
20 **MOTION CARRIED 7:0:0**

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Chairwoman Ellison stated that this is a public hearing and anyone wishing to testify must be sworn in. The following persons were sworn in: Senior Planner Scott Bernacki, the Petitioners Adam Reiche and Mike Gazzola of Reiche Construction.

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Chairwoman Ellison asked if the petitioners had anything to add or present to which Adam Reiche recapped that the ownership of 13800 George Bush Court is also pursuing this development. He mentioned there was a need for the smaller scale warehouse users. Mr. Reiche spoke to both elements of request relief stating that given the tollway's distance from the property line, the parking setback relief requested was negligible and that the 8.4% reduction in required open space was due to the lots being master planned with shared off site detention. That the entire park was designed with 25% open space.

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Chairwoman Ellison asked if any members of the public had any comments to add to which no members of the public had anything to add.

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Commissioner DeBaltz, O'Leary, Vice Chair Zydorowicz shared that the development plan was conducive to what has previously been approved in this business park and the relief required to accommodate the proposed site plan was agreeable given the shared off site detention.

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Chairwoman Dawn Ellison questioned the need for the landscaped island in the truck court.

Commissioner Jeff Peterson clarified with the petitioner that the reason for the truck court being located on the north side of the building is to mirror the loading docks on the south side of Rohr.

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Commissioner Joseph Holtorf and Ron Hahn both offered their support for the proposal. The landscape along the south lot line was discussed to be congested and in need of minor modification.

There were no further comments. Chairwoman Ellison requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 22-05.02

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MOVED: Commissioner Terra DeBaltz
SECONDED: Vice Chair Ric Zydorowicz
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O'Leary,

Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison

NAYS: None
ABSTAIN: None
MOTION CARRIED 7:0:0

5 Chairwoman Ellison requested a motion to approve the petition.

A MOTION was made to approve Petition No. 22-05.02, Requesting approval of (i) Site Plan Review, including any necessary relief; (ii) a Special Use Permit for Warehouse, Storage, and Distribution as a speculative use in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley subject to the following conditions:

1. All public improvements and site development must occur in full compliance with all applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. The outdoor storage of shipping/cargo containers shall be prohibited.
4. Tractor trailer parking spaces shall be for occupants of the building only. The tractor trailer parking spaces shall not be leased to an off-premise business by the owner or tenant of the building.
5. Additional screening shall be required if the rooftop mechanical equipment is not fully screened by the building's parapet wall.
6. No building construction permits, plans, sign permits, or Certificates of Occupancy are approved as part of this submittal.

The Plan Commission added the following conditions:

7. The landscaping plan shall be revised to avoid crowding along the south property line as well as to relocate the two proposed trees in the truck court island.

MOVED: Commissioner Ron Hahn
SECONDED: Commissioner Terra DeBaltz
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O'Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison
NAYS: None
ABSTAIN: None
MOTION CARRIED 7:0:0

- C. Petition No. 22-05.03, Village of Huntley, petitioner, Request is for approval of Text Amendments to the Village of Huntley Zoning Ordinance, Article XIII Sign Regulations.

Chairwoman Ellison turned to Village staff to begin the PowerPoint presentation to review the petition.

Director Nordman introduced the request for approval of text amendment to the Villages Zoning Ordinance which include changes to the sign regulations. The changes to the Village's regulations were described to include a box sign prohibition, flag sign regulations, and a modified approval process to allow certain temporary signs. The changes to the written ordinance were reviewed. Director Nordman recapped the Request for a motion of the Plan Commission to recommend approval of proposed text amendments to the Village of Huntley Zoning Ordinance, Article XIII Sign Regulations.

Chairwoman Ellison thanked Director Nordman and requested a motion from the Commission to open the public hearing.

A MOTION was made to open the public hearing to consider Petition No. 22-05.03

MOVED: Commissioner Terra DeBaltz

SECONDED: Commissioner Dennis O’Leary
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O’Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison
NAYS: None
5 **ABSTAIN:** None
MOTION CARRIED 7:0:0

Chairwoman Ellison stated that this is a public hearing and anyone wishing to testify must be sworn in. The following persons were sworn in: Director Charles Nordman

10 Chairwoman Ellison asked if any members of the public had any comments to add to which no members of the public had anything to add.

15 Commissioner DeBaltz clarified with Director Nordman that all existing box signs may remain until they are replaced, destroyed, or are abandoned.

Commissioner Ron Hahn clarified with Director Nordman that the Village cannot regulate sign content.

20 Chairwoman Ellison asked how many box signs are currently in existence to which Director Nordman stated that the Village does have a box sign inventory for record keeping and enforcement purposes.

There were no further comments. Chairwoman Ellison requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 22-05.03

25 **MOVED:** Commissioner Jeff Peterson
SECONDED: Commissioner Terra DeBaltz
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O’Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison
30 **NAYS:** None
ABSTAIN: None
MOTION CARRIED 7:0:0

Chairwoman Ellison requested a motion to approve the petition.

35 **A MOTION was made to approve Petition No. 22-05.03, Requesting approval of Text Amendments to the Village of Huntley Zoning Ordinance, Article XIII Sign Regulations.**

40 **MOVED:** Vice Chair Ric Zydorowicz
SECONDED: Commissioner Jeff Peterson
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O’Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison
NAYS: None
45 **ABSTAIN:** None
MOTION CARRIED 7:0:0

7. Discussion

50 Director Nordman introduced Doug Pollock as a consultant to oversee the Village’s upcoming comprehensive planning process.

There was no further discussion.

8. **Adjournment**

At 7:37 pm, a MOTION was made to adjourn the May 9, 2022 Plan Commission meeting.

- 5 **MOVED:** Commissioners Terra DeBaltz
SECONDED: Chairwoman Dawn Ellison
AYES: Commissioners Ron Hahn, Joseph Holtorf, Jeff Peterson, Dennis O’Leary, Terra DeBaltz, Vice Chair Ric Zydorowicz, and Chairwoman Dawn Ellison
NAYS: None
10 **ABSTAIN:** None
MOTION CARRIED 7:0:0

Respectfully submitted,

15 
Senior Planner
Village of Huntley

DRAFT

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION

MEETING DATE: May 23, 2022

SUBJECT: Petition No. 22-05.04, D.R. Horton, Inc. - Midwest, petitioner, and Forestar Real Estate Group, Inc, owner, Phases 3 and 4 of Cider Grove Unit 2, Request is for consideration of a Final Planned Unit Development and Final Plat of Subdivision, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

BACKGROUND INFORMATION

Petitioner: D.R. Horton, Inc.-Midwest, a California corporation
 750 E Bunker Ct Ste 500
 Vernon Hills, IL 60061

Owner: Forestar Real Estate Group, Inc
 1750 E Golf Road #925
 Schaumburg, IL 60173

Subject Location: Phases 3 and 4 of Cider Grove Unit 2 (Approximately 44.3 acres vacant land generally located north of Dundee Road and East of Hanover Ave.)

Request: Request is for consideration of Final Planned Unit Development and Final Plat of Subdivision for Phases 3 and 4 of Cider Grove Unit 2.

Zoning, Land Use and Comprehensive Plan:

| LOCATION | ZONING | CURRENT USE | COMPREHENSIVE PLAN |
|----------------------|-------------------------------------------------------------------------------------|---------------------------|---------------------------|
| Property in Question | “RE-1 (PUD)” Residential Estate District | Vacant / Agricultural | Single Family Residential |
| North | Lake in the Hills – “R-2” One Family | Single Family Residential | Not Applicable |
| South | Unincorporated McHenry County – “A1” Agricultural | Agricultural | Not Applicable |
| East | Unincorporated McHenry County – “A1” Agricultural | Agricultural | Not Applicable |
| West | “R-2” Single Family Residential District & “RE-1 (PUD)” Residential Estate District | Single Family Residential | Single Family Residential |

INTRODUCTION

D.R. Horton received Preliminary PUD and Preliminary Plat of Subdivision approval from the Village Board for Cider Grove Unit 2 on June 10, 2021. At that same time, the Village Board also approved an amendment to the Annexation Agreement and a Development Agreement to allow D.R. Horton to develop the Unit 2 property with 180 single family lots in up to four (4) phases. The petitioner received Final Planned Unit Development (PUD) and Final Plat of Subdivision approval for Phases 1 & 2 on August 12, 2021. Forestar has now submitted a development application for Final Planned Unit Development (PUD) and Final Plat of Subdivision for Phases 3 and 4 of the Cider Grove Unit 2 subdivision on behalf of D.R. Horton.

DEVELOPMENT SUMMARY

In accordance with the Development Agreement and preliminary approvals, D.R. Horton has submitted Final PUD plans and Final Plats of Subdivision for Phases 3 and 4. Phase 3 consists of sixty-three (63) lots and a ±10 acre parcel for existing wetlands and stormwater detention basins. Phase 4 consists of forty-one (41) lots, and is located directly north of the Phase 3 property. The lots have a minimum lot area of 8,450 square feet and an average lot area of 9,844 square feet. The proposed plans submitted for Phases 3 and 4 are consistent with the approved Preliminary PUD and Preliminary Plat of Subdivision for Unit 2.

The Final Plat for Phase 4 also includes the dedication of right-of-way for the future extension of Main Street which is in accordance with the approved Development Agreement and the Village's Boundary Agreement with the Village of Algonquin. The Boundary Agreement requires that both Huntley and Algonquin allow for and cause to be constructed the easterly extension of Main Street to eventually connect to Lakewood Road. D.R. Horton will not construct this portion of Main Street since it has yet to be extended across the property to the west (Halat property), but will pay the Village a cash equivalent in lieu of constructing it. The payment amount shall be based on the estimated cost of completing the Main Street Extension at the time the payment is made. The payment will be required prior to recording a Final Subdivision Plat for Phase 4.

Construction access to the Unit 2 property will continue to be provided by a temporary roadway that will be constructed through property to the south of Cider Grove Unit 2. The roadway will serve as construction access for heavy construction vehicles, which are defined in the development agreement as trucks with C & D type license plates (8,001 lbs. and over) and/or trailers (3,000 lbs. and over).

Home Product

As presented with the Preliminary PUD, home sizes for the single-family product range from 1,970 to 3,020 square feet (the 1,970 square foot plan is a single-story ranch model that has a 3-car garage standard). The models listed below are the same models that were approved as part of the Preliminary PUD.

| <u>Plan Name</u> | <u>Sq. Ft.</u> | <u>Description</u> |
|-------------------------|-----------------------|--------------------------------------|
| Fairfield (X453) | 1,970 | Single Story; 4 bedrooms; 2 bath |
| Pendleton (X426) | 2,155 | Two-story; 3 bedrooms; Loft; 2½ bath |
| Holcombe (X427) | 2,356 | Two-story; 4 bedrooms; 2½ bath |
| Bridgestone (X430) | 2,550 | Two-story; 4 bedrooms; Loft; 2½ bath |
| Henley (X429) | 2,600 | Two-story; 4 bedrooms; Loft; 2½ bath |
| Coventry (X451) | 2,836 | Two-story; 4 bedrooms; Loft; 2½ bath |
| Emerson (X450) | 3,020 | Two-story; 4 bedrooms; Loft; 2½ bath |

Landscape Plan

The proposed landscape plan provides the required parkway trees along the proposed residential streets. Typical landscape packages have also been provided for the single family lots. A 3-foot landscape "berm" is proposed on Outlots B and C which are adjacent to the future Main Street extension. The landscape buffer is 30' wide at its narrowest and features a variety of 3" caliper shade trees, ornamental trees, and densely planted 8' tall evergreens paired with deciduous shrubs and planting beds near the future subdivision entryway. The existing wetland areas on the north side of the future Main Street extension will remain and provide a buffer between the existing Lake in the Hills homes. The two stormwater detention basins are proposed to be native emergent plant bottoms using a wet meadow seed & blanket at the immediate perimeter of the basin. Low profile prairie seed & blanket will be used moving outward from these areas to cover the remainder of the ±10 acre parcel.

Declaration for Cider Grove Unit 2 (CCRs)

The Declaration (CCRs) for Unit 2 was previously approved as part of the Final PUD and Final Plats of Subdivision for Phase 1 and 2. The same CCRs will apply to Phases 3 and 4. As discussed during the review of the Preliminary PUD and Preliminary Plat, D.R. Horton has created a separate Homeowners Association (HOA) for the remaining phases of the Cider Grove Subdivision. This has allowed the existing Cider Grove HOA to be turned over to the residents in Unit 1. A Cross Easement and Cost Sharing Agreement has been executed so that the remaining phases would participate in the costs to maintain the clubhouse, subdivision entrance and existing stormwater facilities.

Review Criteria—Final Planned Unit Development Review

The Plan Commission shall review and evaluate the final PUD in terms of whether the proposal:

- i. Is in general conformance with the previously approved preliminary PUD plans.
- ii. By virtue of its imaginative and creative design and benefits to the village, justifies the intended variations from the strict interpretation of the Subdivision Ordinance.
- iii. Requires additional conditions and restrictions to protect the public interest and adjacent areas, improve the development and assure compliance with existing village ordinances.

REQUESTED ACTION

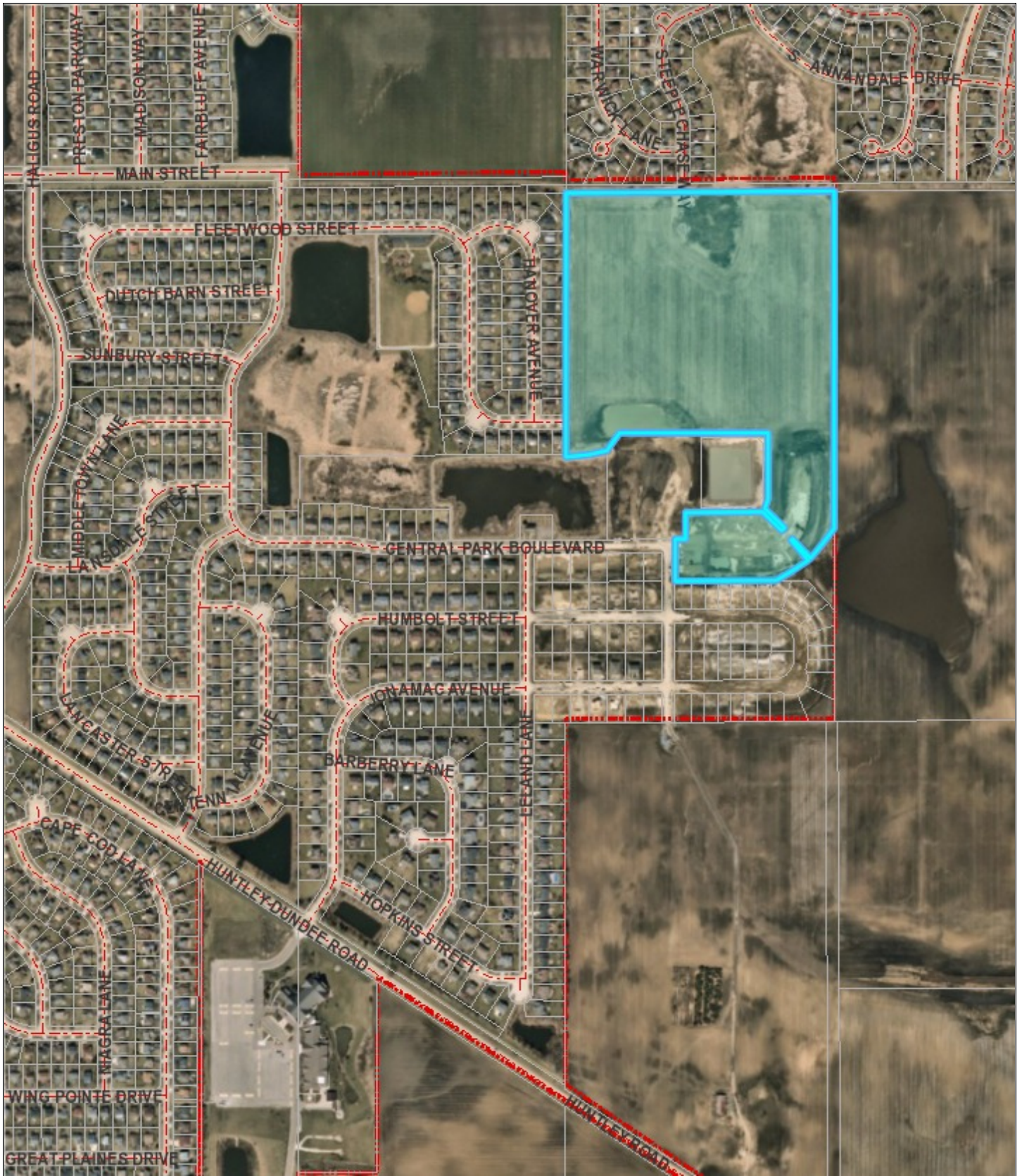
The petitioners, D.R. Horton, Inc. - Midwest and Forestar Real Estate Group, Inc., request a motion of the Plan Commission, to recommend approval of a Final Planned Unit Development and Final Plat of Subdivision for Phases 3 and 4 of the Cider Grove Unit 2 Subdivision.

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

- 1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- 2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
- 3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through “retention” and design of multi-stage outlet structures.
- 4. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- 5. Homes constructed on Lots 102 – 118 are required to include the following features as standard on the rear building elevations:
 - a. 4/4x4” wood window surrounds and corner boards and 4/4x8” frieze boards
 - b. Window grills
 - c. Either shutters around the windows or a bay window at the first floor
- 6. All homes shall include 4/4x4” wood window surrounds and corner boards and 4/4x8” frieze boards.

EXHIBITS

- 1. Aerial Photograph, 3.22.22
- 2. Final Plat of Subdivision Cider Grove Unit 2 – Phase 3, 2.15.22
- 3. Final Plat of Subdivision Cider Grove Unit 2 – Phase 4, 2.15.22
- 4. Proposed Improvement Plans for Cider Grove, Unit 2 Phase 3 & 4, 3.23.22
- 5. Final Landscape Plan, 3.21.22
- 6. Home Elevations, dated 6.15.21



Phase 3 & 4 of Cider Grove Unit 2

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 700'

VILLAGE OF HUNTLEY

10987 Main Street
 Huntley, IL 60142
 (847)669-9600

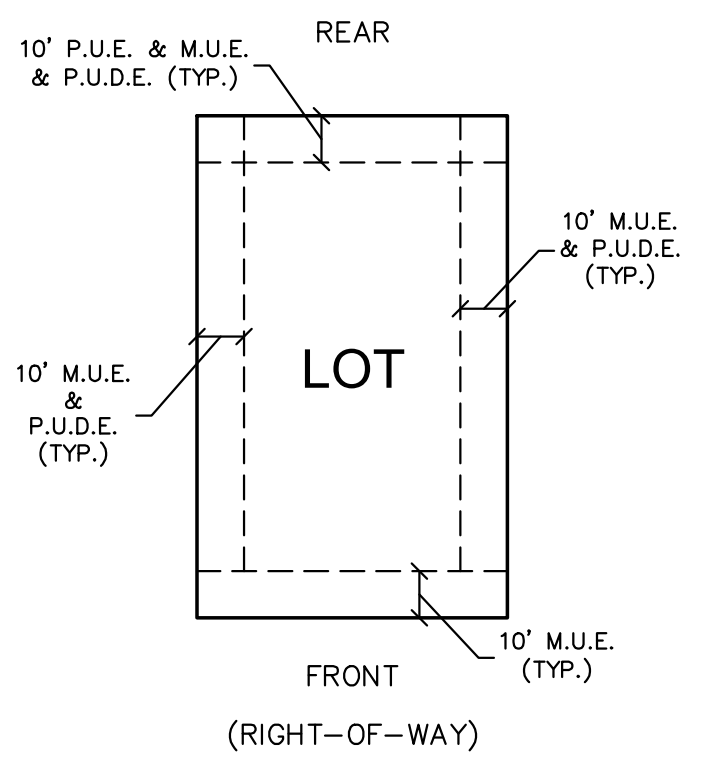
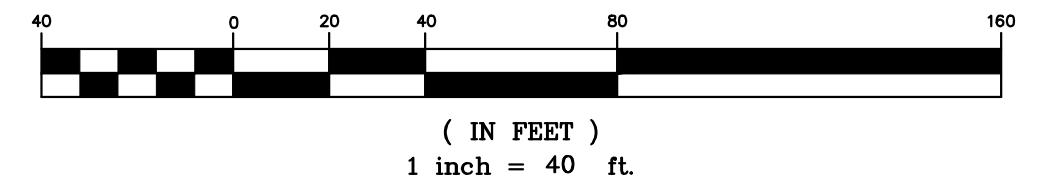
Print Date: 5/18/2022

FINAL PLAT OF SUBDIVISION CIDER GROVE UNIT 2 - PHASE 3

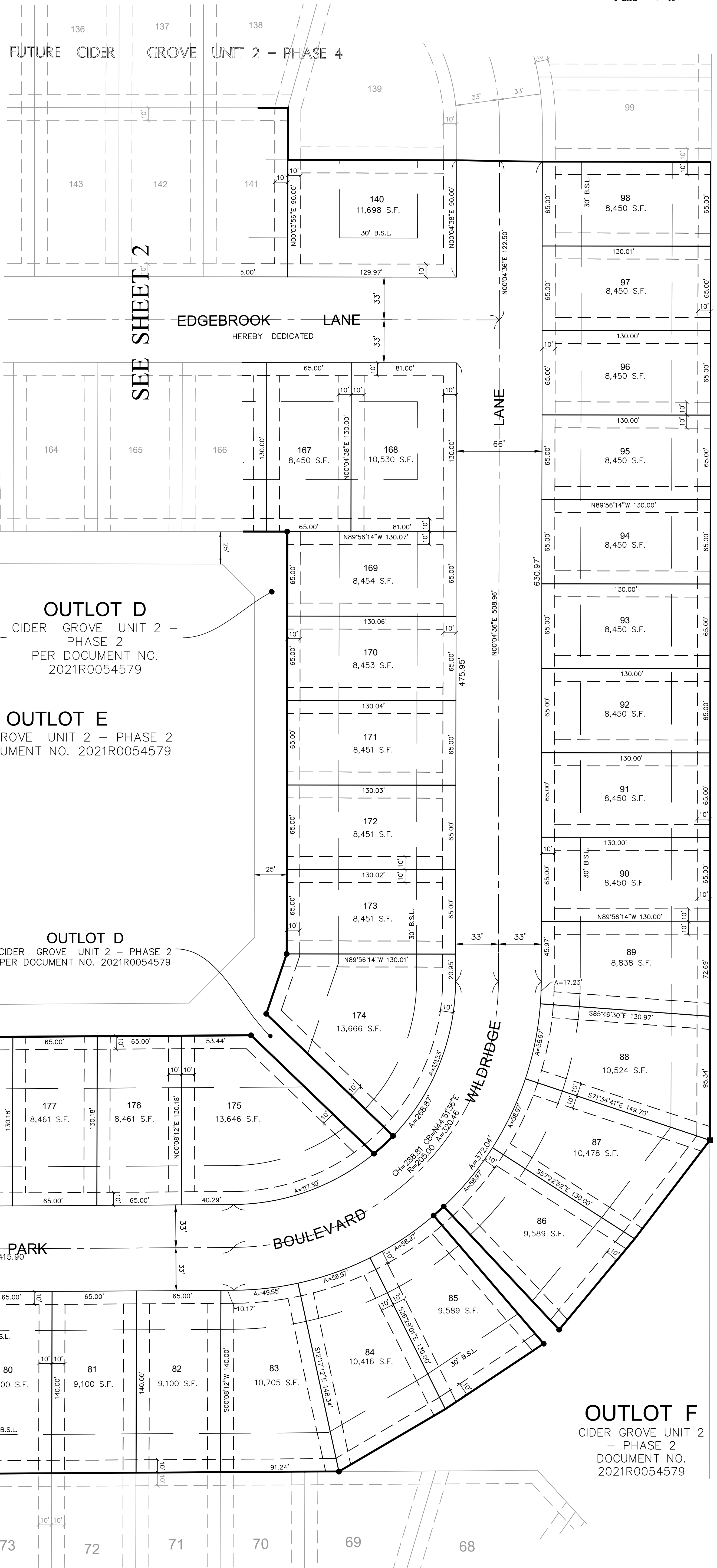
BEING A SUBDIVISION OF PART OF SECTIONS 34 AND 35
IN TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD
PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS

P.I.N. 18-35-100-007

GRAPHIC SCALE



TYPICAL LOT DETAIL
NOT TO SCALE



ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
(R) = RECORD BEARING OR DISTANCE
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P.U.E. = PUBLIC UTILITY EASEMENT
M.U.E. = MUNICIPAL UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
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LINE LEGEND

— SUBDIVISION BOUNDARY LINE
- - - ADJACENT LAND PARCEL LINE
- - - EASEMENT LINE
- - - CENTERLINE
- - - BUILDING SETBACK LINE
- - - SECTION LINE

LEGEND

● SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
■ SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
+ SET CROSS IN CONCRETE UNLESS OTHERWISE NOTED

OUTLOT D
CIDER GROVE UNIT 2 - PHASE 2
PER DOCUMENT NO. 2021R0054579

OUTLOT E
CIDER GROVE UNIT 2 - PHASE 2
PER DOCUMENT NO. 2021R0054579

OUTLOT D
CIDER GROVE UNIT 2 - PHASE 2
PER DOCUMENT NO. 2021R0054579

OUTLOT F
CIDER GROVE UNIT 2 - PHASE 2
DOCUMENT NO. 2021R0054579

| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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FINAL PLAT OF SUBDIVISION CIDER GROVE UNIT 2 - PHASE 4

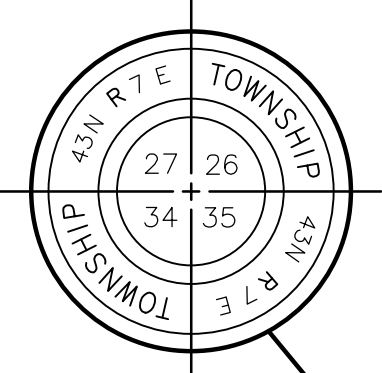
P.I.N. 18-35-100-007

BEING A SUBDIVISION OF PART OF SECTIONS 34 AND 35
IN TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD
PRINCIPAL MERIDIAN, IN MCHENRY COUNTY, ILLINOIS

GRAPHIC SCALE

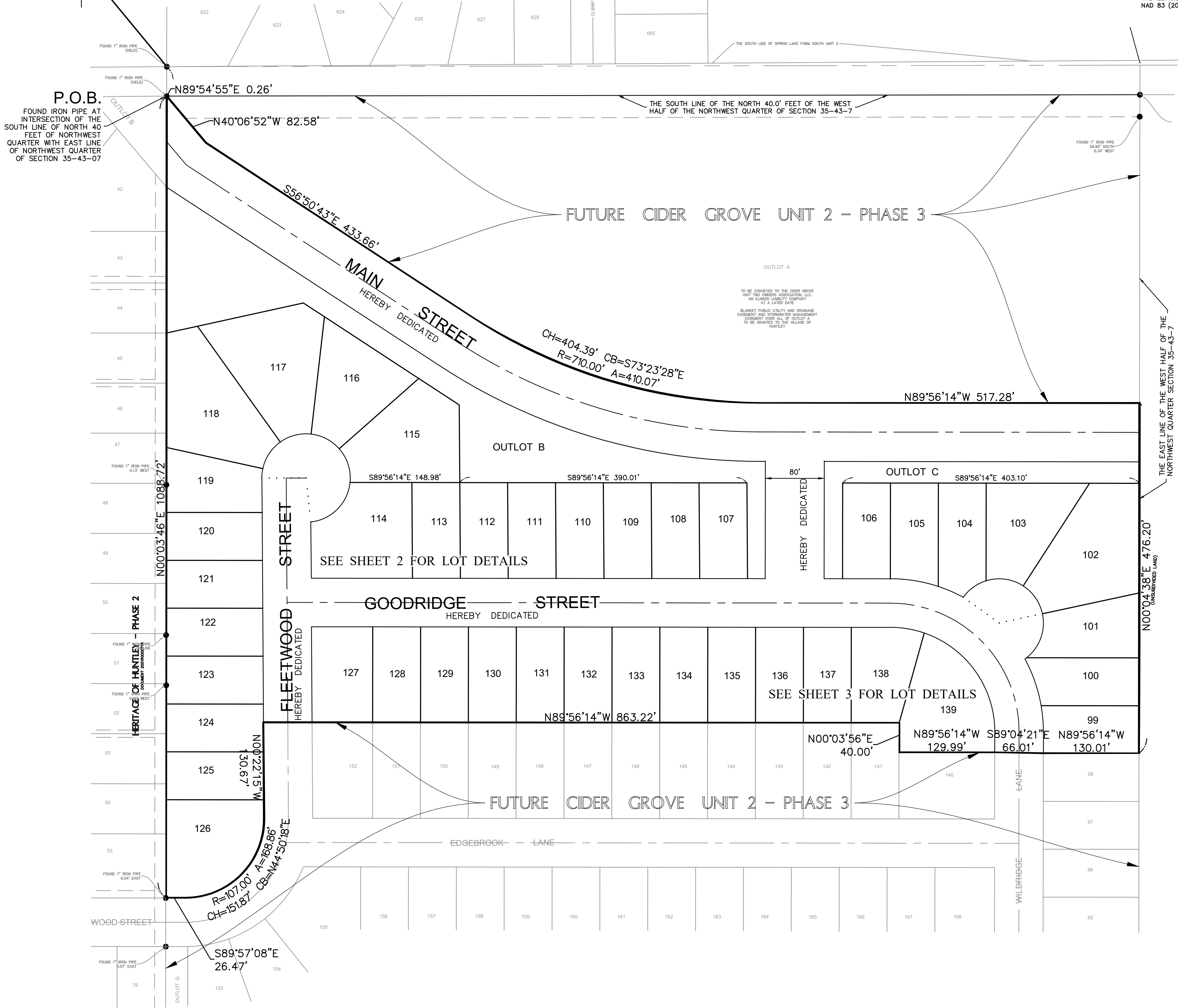


(IN FEET)
1 inch = 60 ft.



BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS
THE ILLINOIS STATE PLANE COORDINATE SYSTEM,
NAD 83 (2011), ZONE 1201 ILLINOIS EAST



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- P.O.B. = POINT OF BEGINNING

LEGEND

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- SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
- + SET CROSS IN CONCRETE UNLESS OTHERWISE NOTED

LINE LEGEND

- SUBDIVISION BOUNDARY LINE
- - - ADJACENT LAND PARCEL LINE
- - - EASEMENT LINE
- CENTERLINE
- - - BUILDING SETBACK LINE
- - - SECTION LINE

AREA SUMMARY

| | | | |
|----------------------------|---------------------|----|--------------|
| GROSS | 737,478 SQUARE FEET | OR | 16.930 ACRES |
| R.O.W. DEDICATION | 235,350 SQUARE FEET | OR | 5.403 ACRES |
| NET AREA | 502,128 SQUARE FEET | OR | 11.527 ACRES |
| (TO HEAVY LINES) | | | |
| (BASED ON MEASURED VALUES) | | | |

COMPASS SURVEYING LTD
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT
CIDER GROVE UNIT 2 - PHASE 4
HUNTLEY, IL

CLIENT
CAGE CIVIL ENGINEERING
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515

| DATE: 2/15/22 | PC N/A | DRAWN BY MRA | CHECKED BY DF | BOOK N/A | PG N/A |
|---------------|-----------|--------------|---------------|----------|--------|
| NO. | REVISIONS | DATE | BY | | |
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FINAL PLAT OF SUBDIVISION CIDER GROVE UNIT 2 - PHASE 4

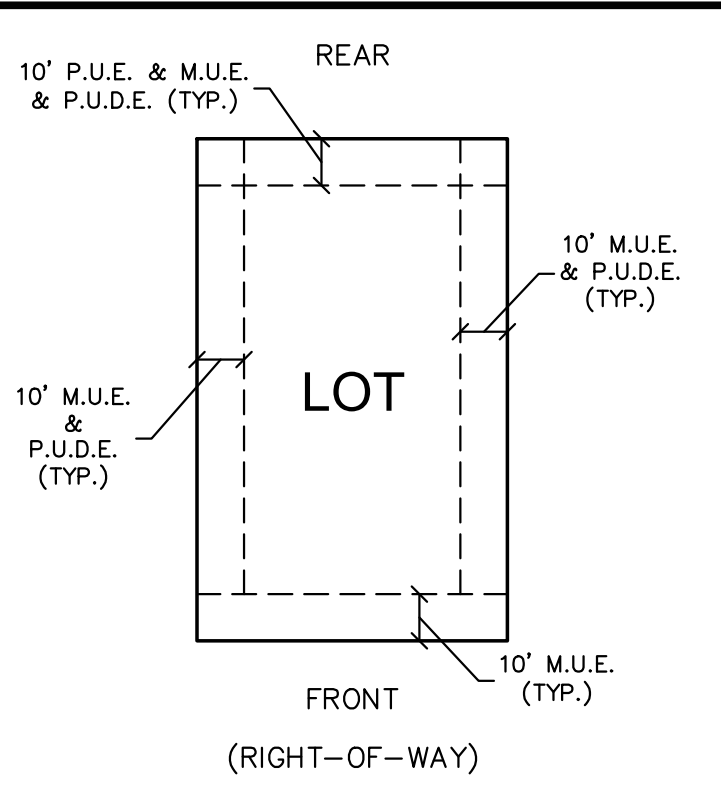
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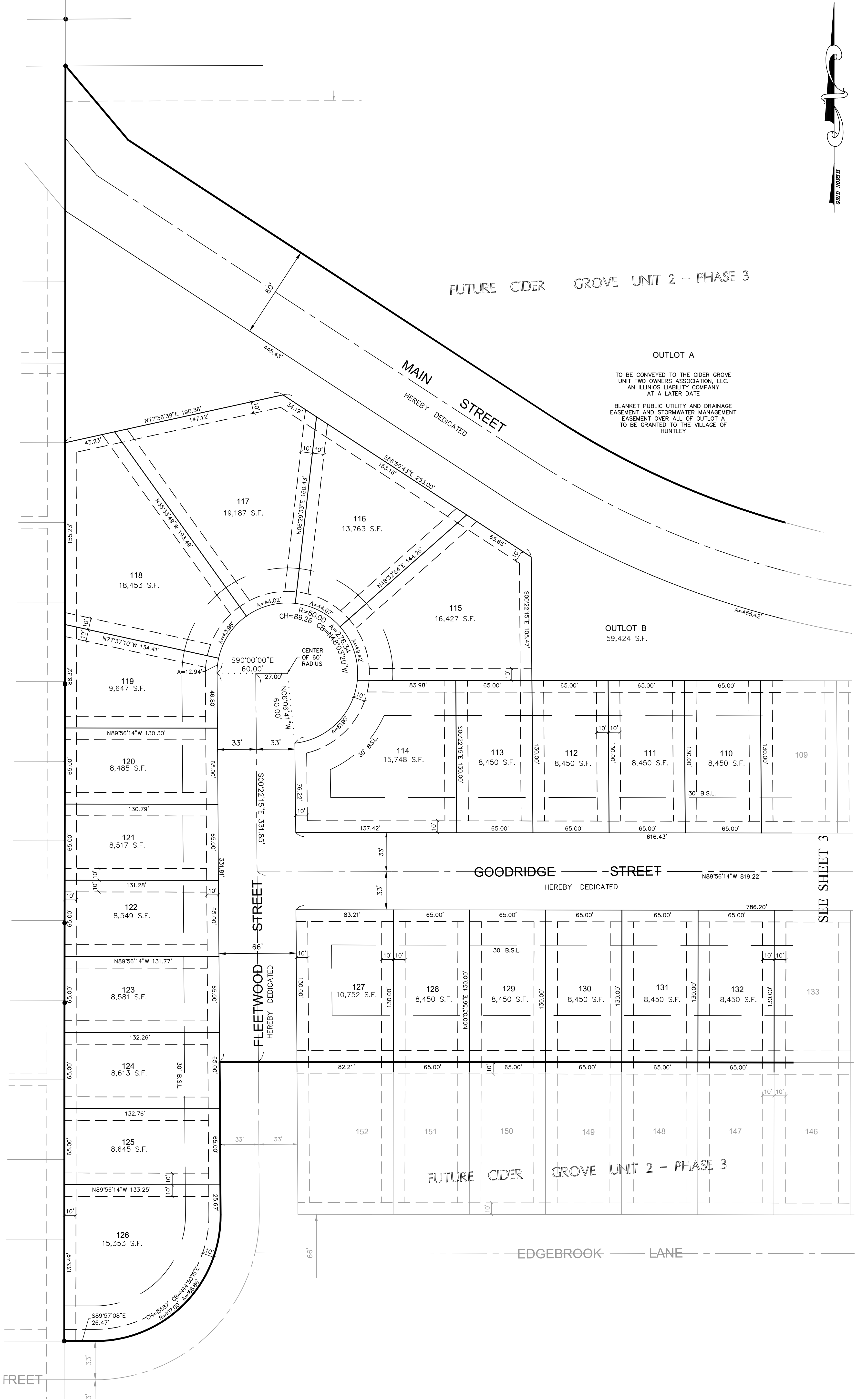
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



TYPICAL LOT DETAIL
NOT TO SCALE



FUTURE CIDER GROVE UNIT 2 - PHASE 3

OUTLOT A

TO BE CONVEYED TO THE CIDER GROVE
UNIT TWO OWNERS ASSOCIATION, LLC.
AN ILLINOIS LIABILITY COMPANY
AT A LATER DATE

BLANKET PUBLIC UTILITY AND DRAINAGE
EASEMENT OVER ALL OF OUTLOT A
TO BE GRANTED TO THE VILLAGE OF
HUNTLEY

OUTLOT B
59,424 S.F.

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LEGEND

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SEE SHEET 3

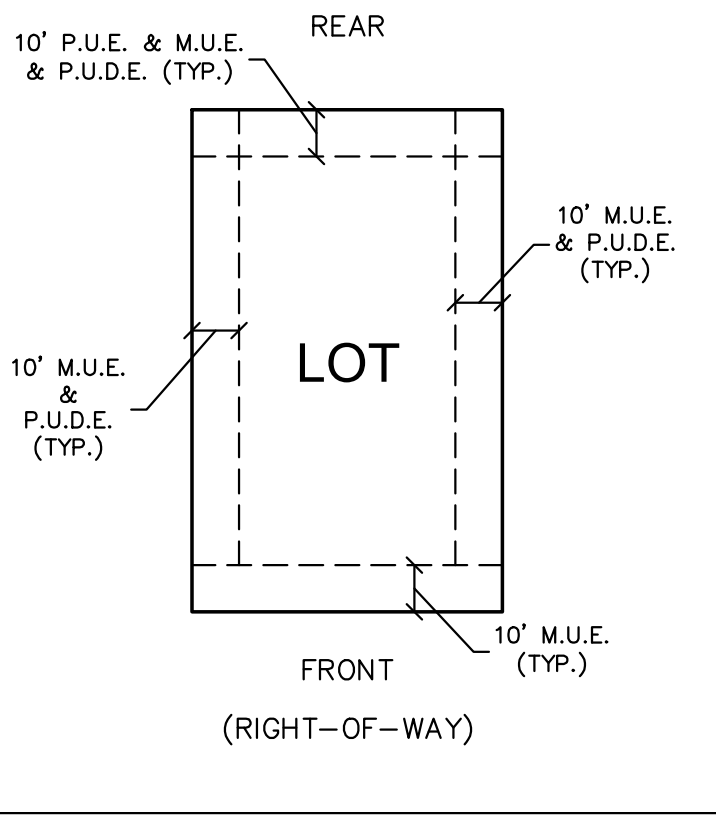
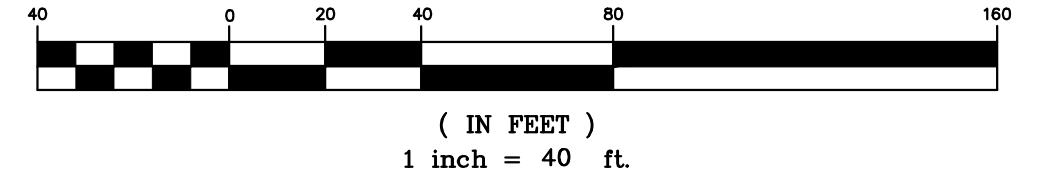
| <p>2 OF 4</p> <p>SCALE: 1" = 40'</p> | <p>COMPASS SURVEYING LTD</p> <p>ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING</p> <p>2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM</p> | <p>PROJECT CIDER GROVE UNIT 2 - PHASE 4 HUNTLEY, IL</p> <p>CLIENT CAGE CIVIL ENGINEERING 3110 WOODCREEK DRIVE DOWNERS GROVE, IL 60515</p> | <p>DATE: 2/15/22 PC N/A DRAWN BY MRA CHECKED BY DF BOOK N/A PG N/A</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> | NO. | REVISIONS | DATE | BY | | | | | | | | | | | | |
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FINAL PLAT OF SUBDIVISION CIDER GROVE UNIT 2 - PHASE 4

BEING A SUBDIVISION OF PART OF SECTIONS 34 AND 35
IN TOWNSHIP 43 NORTH, RANGE 7 EAST OF THE THIRD
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P.I.N. 18-35-100-007

GRAPHIC SCALE



TYPICAL LOT DETAIL

NOT TO SCALE

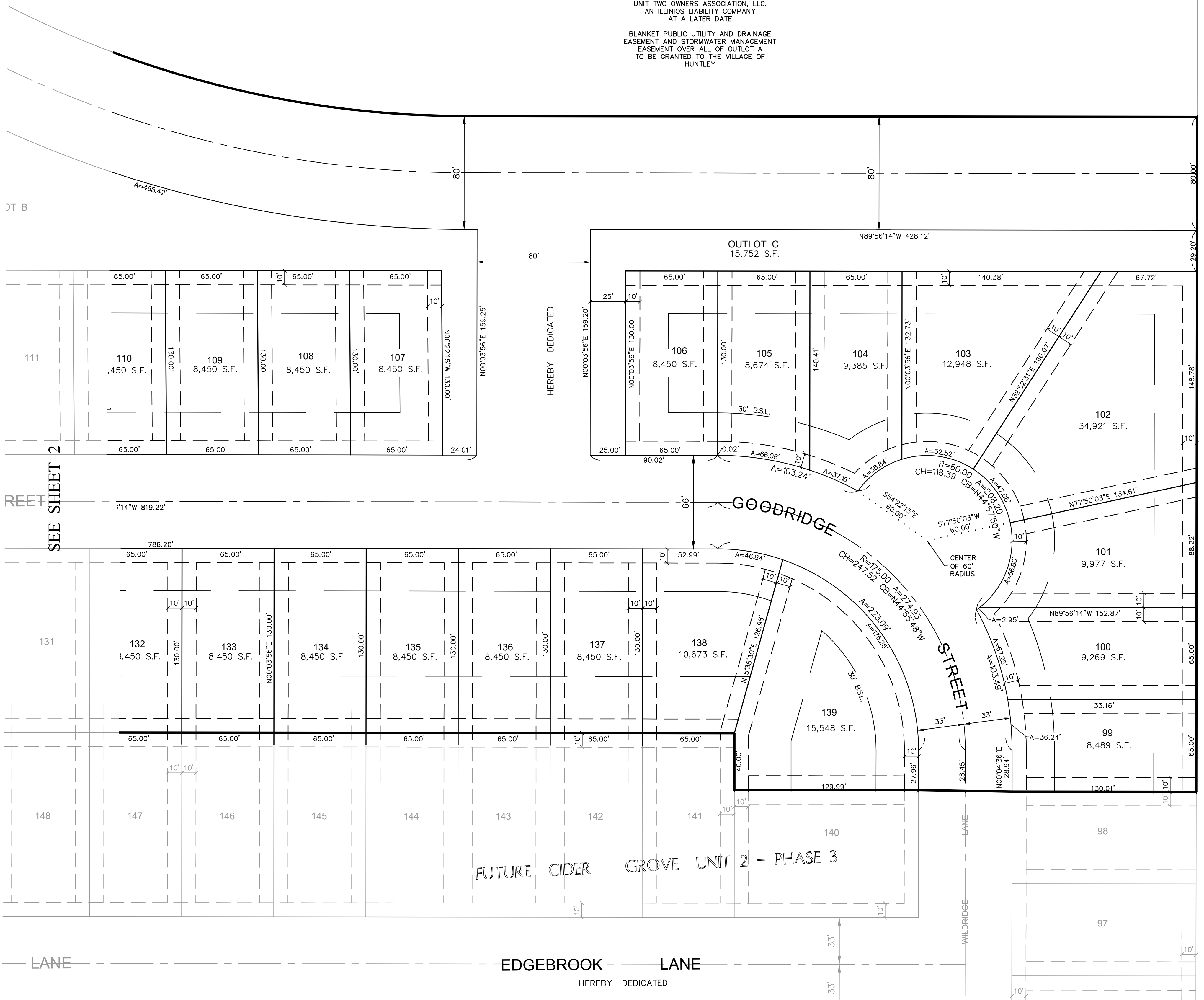
FUTURE CIDER GROVE UNIT 2 - PHASE 3

AN ILLINOIS LIABILITY COMPANY
AT A LATER DATE
BLANKET PUBLIC UTILITY AND DRAINAGE
EASEMENT AND STORMWATER MANAGEMENT
EASEMENT OVER ALL OF OUTLOT A
TO BE GRANTED TO THE VILLAGE OF
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OUTLOT A

TO BE CONVEYED TO THE CIDER GROVE
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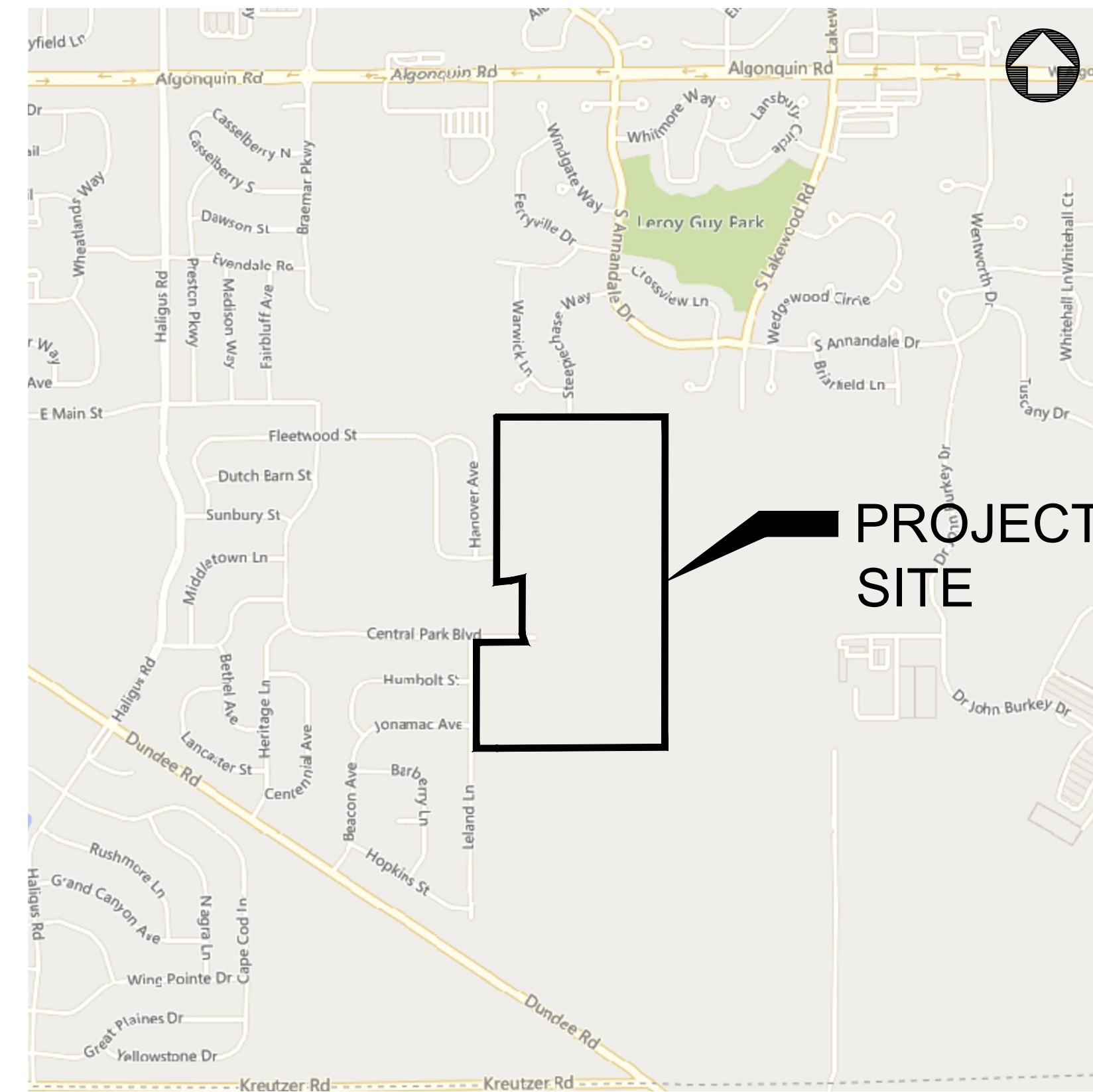
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| 3 OF 4 SCALE: 1" = 40' COMPASS SURVEYING LTD ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM | PROJECT CIDER GROVE UNIT 2 - PHASE 4 HUNTLEY, IL | DATE: 2/15/22 PC N/A DRAWN BY MRA CHECKED BY DF BOOK N/A PG N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| | CLIENT CAGE CIVIL ENGINEERING 3110 WOODCREEK DRIVE DOWNERS GROVE, IL 60515 | REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> | NO. | REVISIONS | DATE | BY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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PROPOSED IMPROVEMENTS FOR CIDER GROVE, UNIT 2 PHASES 3 & 4 CENTRAL PARK BLVD, HUNTLEY, ILLINOIS

| INDEX OF SHEETS | |
|-----------------|----------------------------------------------------------|
| SHEET NUMBER | SHEET TITLE |
| C0.0 | SITE LOCATION MAP & CIVIL LEGEND |
| C0.1 | GENERAL NOTES & SPECIFICATIONS |
| C0.2 | HUNTLEY GENERAL NOTES & SPECIFICATIONS |
| C1.0 | EXISTING CONDITIONS & DEMO PLAN NW |
| C1.1 | EXISTING CONDITIONS & DEMO PLAN NE |
| C1.2 | EXISTING CONDITIONS & DEMO PLAN EAST |
| C1.3 | EXISTING CONDITIONS & DEMO PLAN SE |
| C1.4 | EXISTING CONDITIONS & DEMO PLAN SW |
| C2.0 | OVERALL SITE LAYOUT PLAN |
| C2.1 | SIGNAGE & STRIPING PLAN |
| C3.0 | GRADING & DRAINAGE PLAN NW |
| C3.1 | GRADING & DRAINAGE PLAN NE |
| C3.2 | GRADING & DRAINAGE PLAN EAST |
| C3.3 | GRADING & DRAINAGE PLAN SE |
| C3.4 | GRADING & DRAINAGE PLAN SW |
| C4.0 | SOIL EROSION & SEDIMENT CONTROL PLAN NW |
| C4.1 | SOIL EROSION & SEDIMENT CONTROL PLAN NE |
| C4.2 | SOIL EROSION & SEDIMENT CONTROL PLAN EAST |
| C4.3 | SOIL EROSION & SEDIMENT CONTROL PLAN SE |
| C4.4 | SOIL EROSION & SEDIMENT CONTROL PLAN |
| C5.0 | UTILITY PLAN NW |
| C5.1 | UTILITY PLAN NE |
| C5.2 | UTILITY PLAN EAST |
| C5.3 | UTILITY PLAN SE |
| C5.4 | UTILITY PLAN SW |
| C6.0 | GOODRIDGE STREET PLAN & PROFILE STA 0+00 TO 7+50 |
| C6.1 | GOODRIDGE STREET PLAN & PROFILE STA 7+50 TO 12+45 |
| C6.2 | EDGEBROOK LANE PLAN & PROFILE STA 0+00 TO 9+96 |
| C6.3 | FLEETWOOD STREET PLAN & PROFILE STA 0+00 TO 7+13 |
| C6.4 | UNNAMED STREET PLAN & PROFILE STA 0+00 TO 2+32 |
| C6.5 | CENTRAL PARK BOULEVARD PLAN & PROFILE STA 7+00 TO 12+50 |
| C6.6 | CENTRAL PARK BOULEVARD PLAN & PROFILE STA 12+50 TO 20+00 |
| C7.0 | CONSTRUCTION DETAILS |
| C7.1 | CONSTRUCTION DETAILS |
| C7.2 | CONSTRUCTION DETAILS |
| C7.3 | CONSTRUCTION DETAILS |
| C7.4 | CONSTRUCTION DETAILS |
| C7.5 | CONSTRUCTION DETAILS |

LOCATION MAP



SECTION 35, TOWNSHIP 43N, RANGE 7E

OWNER/DEVELOPER
D.R. HORTON
750 BUNKER CT, SUITE 100
VERNON HILLS, IL 60061
PHONE: 224.358.5127
BRUCE MELLEN

ENGINEER
CAGE ENGINEERING
3110 WOODCREEK DR.
DOWNERS GROVE, IL 60515
PHONE: 630.598.0007
FREDERICK THAETE

SURVEYOR
COMPASS SURVEYING, LTD.
2631 GINGER PKWY, STE 100
AURORA, IL 60502
PHONE: 630.820.9100
DAVE FILIPSKI

**VILLAGE OF HUNTLEY
ENGINEERING DEPARTMENT**
10987 MAIN STREET
HUNTLEY, IL 60142
PHONE: 847.669.5034
TIMOTHY FARRELL

**VILLAGE OF HUNTLEY
DEVELOPMENT SERVICES**
10987 MAIN STREET
HUNTLEY, IL 60142
PHONE: 847.515.5252
CHARLES NORDMAN

REFERENCE BENCHMARK:
MCHENRY COUNTY BENCHMARK NUMBER
6428 LOCATED INSIDE FENCE AT HUNTLEY
WELL 10
DATUM: NAVD 88
ELEVATION = 885.00

SITE BENCHMARKS #1
ARROW BOLT ON FIRE HYDRANT AT THE
NORTH SIDE OF FLEETWOOD STREET.
ELEVATION = 896.71

SITE BENCHMARK #2
ARROW BOLT ON FIRE HYDRANT AT THE
SOUTHEAST CORNER OF CENTRAL PARK
BOULEVARD AND LELAND LANE.
ELEVATION = 893.41

SITE BENCHMARK #3
ARROW BOLT ON FIRE HYDRANT AT THE
NORTHWEST CORNER OF LELAND LANE
AND JONAMAC AVENUE.
ELEVATION = 895.09

| EXISTING LEGEND | PROPOSED LEGEND |
|-----------------------|-----------------------------|
| EXISTING TREE | CURB & GUTTER |
| CURB & GUTTER | REVERSE PITCH CURB & GUTTER |
| EXISTING BUILDING | DEPRESSED CURB & GUTTER |
| PCC SIDEWALK | PROPOSED BUILDING |
| GAS SERVICE | PCC SIDEWALK |
| ELECTRIC SERVICE | STANDARD DUTY PAVEMENT |
| STORM SEWER | HEAVY DUTY PAVEMENT |
| SANITARY SEWER | GAS SERVICE |
| WATER MAIN | ELECTRIC SERVICE |
| CABLE LINE | STORM SEWER |
| OVERHEAD UTILITY LINE | SANITARY SEWER |
| COMMUNICATION LINE | WATER MAIN |
| FIBER OPTIC LINE | FENCE |
| FENCE | STORM STRUCTURE |
| STORM STRUCTURE | DOWNSPOUT CONNECTION |
| SANITARY MANHOLE | SANITARY MANHOLE |
| CLEANOUT | CLEANOUT |
| WATER METER | WATER METER |
| VALVE VAULT | VALVE VAULT |
| VALVE BOX | VALVE BOX |
| HYDRANT | HYDRANT |
| GAS METER | GAS METER |
| ELECTRIC METER | ELECTRIC METER |
| PARKING LOT LIGHT | PARKING LOT LIGHT |
| UTILITY POLE | FLOW ARROW |
| GUY WIRE | OVERLAND FLOOD ROUTE |
| TRANSFORMER | TOP OF SIDEWALK GRADE |
| FIBER OPTIC BOX | TOP OF CURB GRADE |
| FIBER OPTIC PEDESTAL | PAVEMENT GRADE |
| CABLE PEDESTAL | GROUND GRADE |
| PHONE PEDESTAL | MAJOR CONTOUR |
| ELECTRIC PEDESTAL | MINOR CONTOUR |
| MAJOR CONTOUR | |
| MINOR CONTOUR | |

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS
COUNTY OF KANE

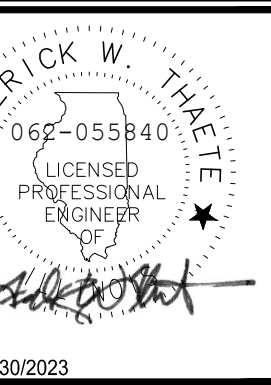
WE HEREBY CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS DEVELOPMENT OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, THAT ADEQUATE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINS AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJACENT LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF CONSTRUCTION OF THE DEVELOPMENT.

BY: _____ DATED: _____
OWNER OR ATTORNEY

BY: DATED: 02/25/2022
ENGINEER

062-055840 11/30/23
ENGINEER LICENSE NUMBER AND EXPIRATION

3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
P. 630.598.0007
WWW.CAGECIVIL.COM



EXP: 11/30/2023

REVISIONS

| NO. | DATE | DESCRIPTION |
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FINAL ENGINEERING FOR
**CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4**
CENTRAL PARK BLVD
HUNTLEY, ILLINOIS

PROJ NO: 190041

ENG: AMS

DATE: 03/23/2022

SHEET TITLE

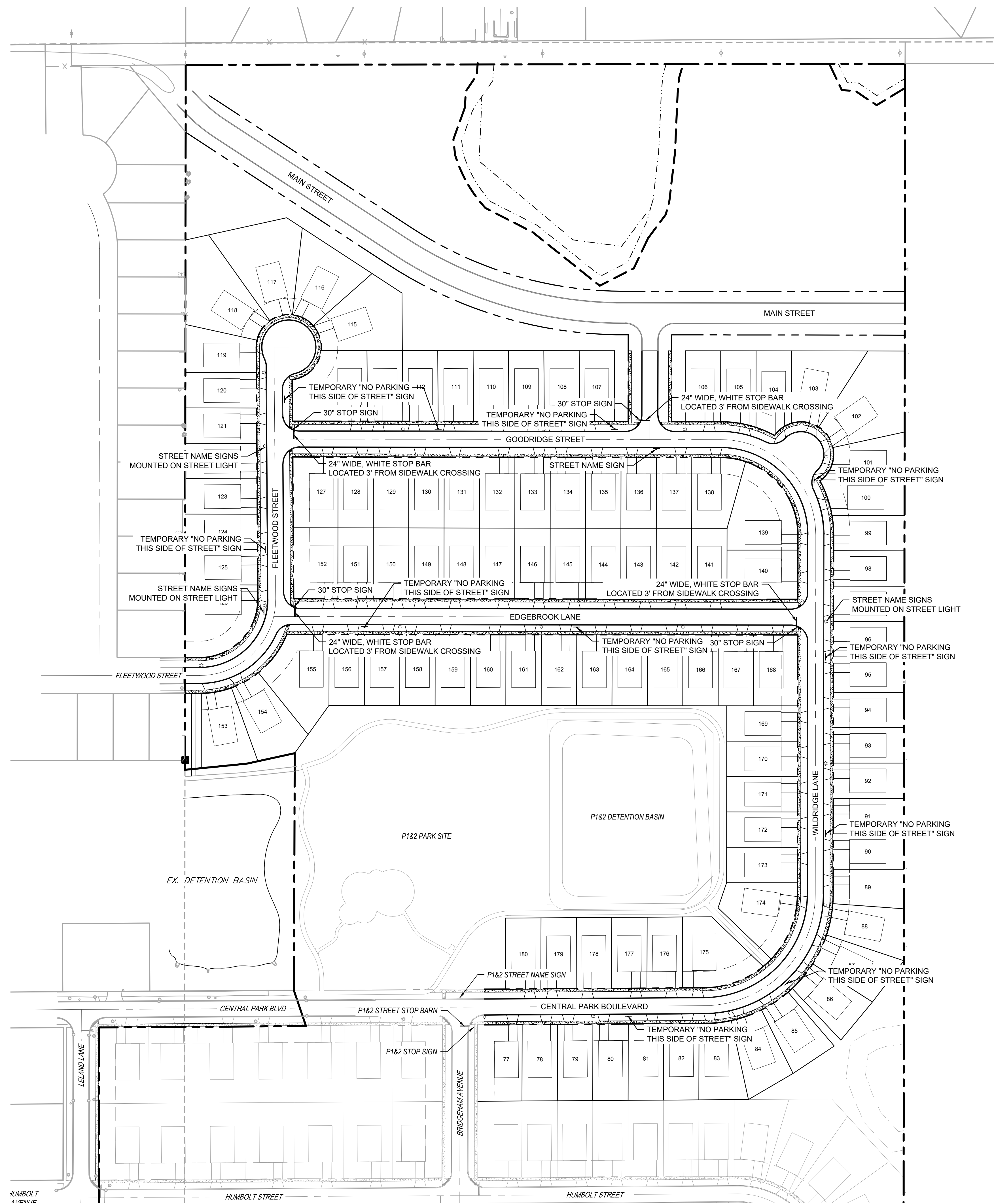
**SITE LOCATION
MAP & CIVIL
LEGEND**

SHEET NUMBER

C0.0

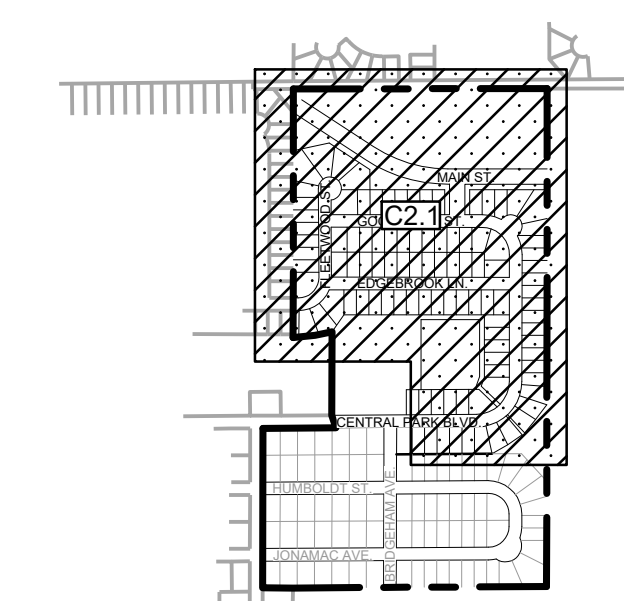
1 OF 38





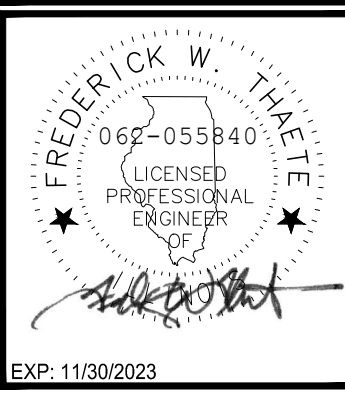
SHEET NOTES

1. ALL TEMPORARY "NO PARKING THIS SIDE OF STREET" SIGNS SHALL BE INSTALLED ALONG THE HYDRANT SIDE OF THE ROADWAYS AT INTERVALS NOT TO EXCEED 300'. SIGNS SHALL BE INSTALLED FOLLOWING THE INSTALLATION OF THE ROADWAY'S BINDER COURSE AND ALL NO PARKING SIGNAGE SHALL BE REMOVED FOLLOWING THE PLACEMENT OF THE ROADWAY'S FINAL SURFACE COURSE.



KEYMAP

3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
P. 630.598.0007
WWW.CAGECIVIL.COM



| REVISIONS |
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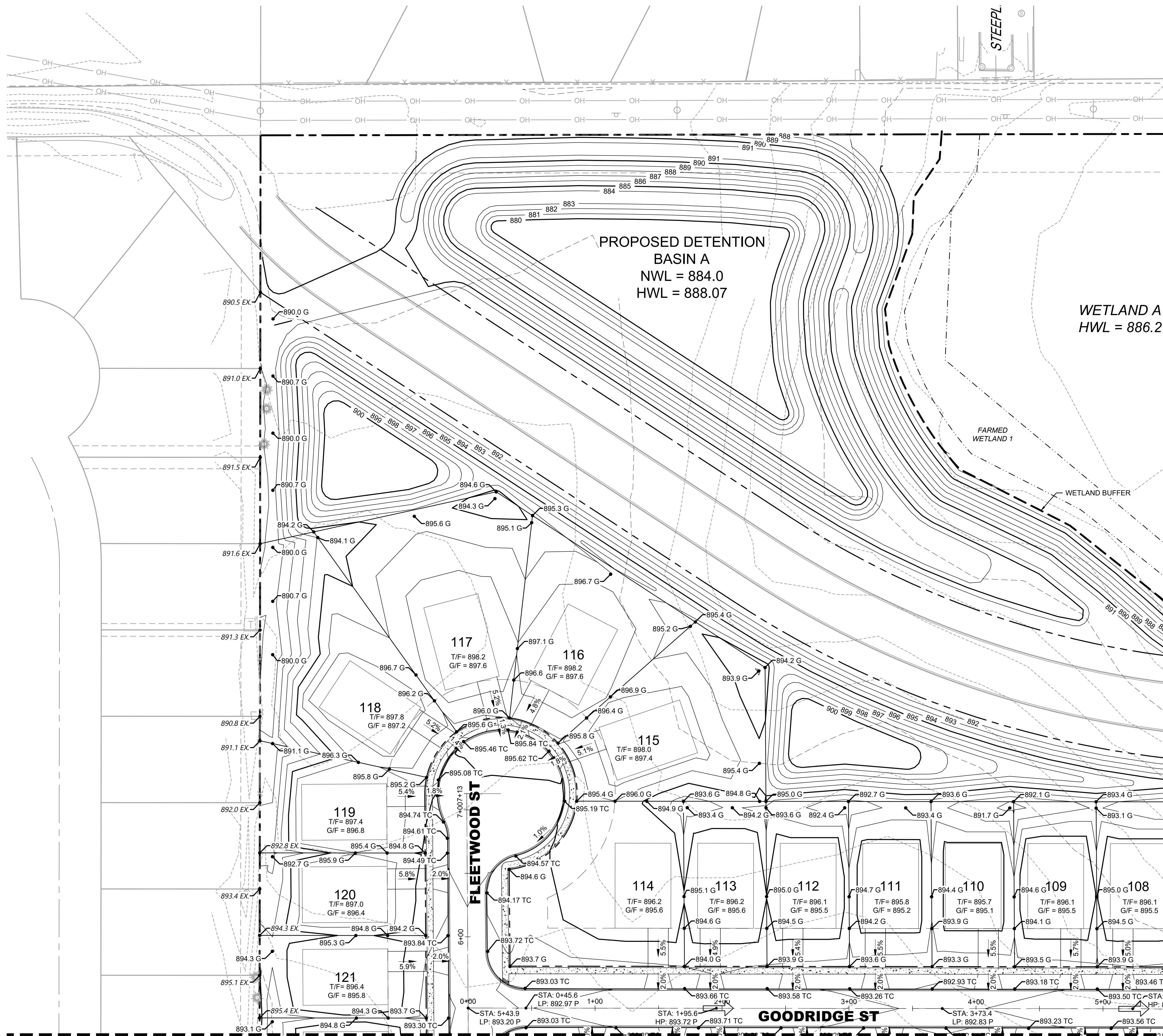
FINAL ENGINEERING FOR
**CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4**
CENTRAL PARK BLVD
HUNTLEY, ILLINOIS

PROJ NO: 190041
ENG: AMS
DATE: 03/23/2022

SHEET TITLE
**SIGNAGE &
STRIPING
PLAN**

SHEET NUMBER
C2.1
10 OF 38

HUMBOLT AVENUE



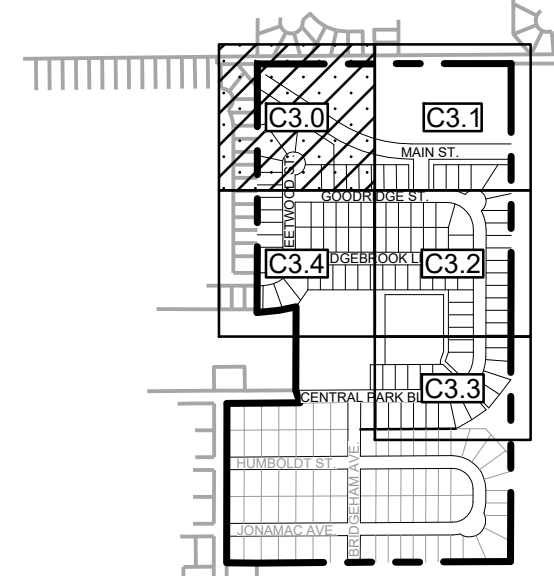
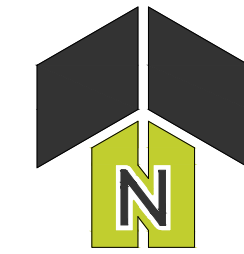
GRADING LEGEND

- 1.0% → DRAINAGE ARROW
- OVERLAND FLOOD ROUTE
- 100.00 P SPOT ELEVATION
- 100 PROPOSED MAJOR CONTOUR
- 100 PROPOSED MINOR CONTOUR
- 100 EXISTING MAJOR CONTOUR
- 100 EXISTING MINOR CONTOUR

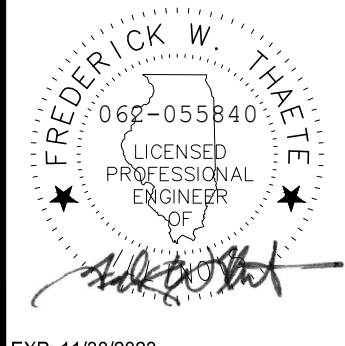
- SHEET NOTES**
- ALL ADA ACCESSIBLE RAMPS AT INTERSECTIONS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS AND A MAXIMUM RUNNING SLOPE OF 8.33% OR LESS. ALL ADA CURB RAMPS SHALL BE CONSTRUCTED PER ILLINOIS DEPARTMENT OF TRANSPORTATION DETAILS.
 - MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
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 - CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS UNTIL VEGETATION IS ESTABLISHED.

SEE SHEET C3.1

SEE SHEET C3.4



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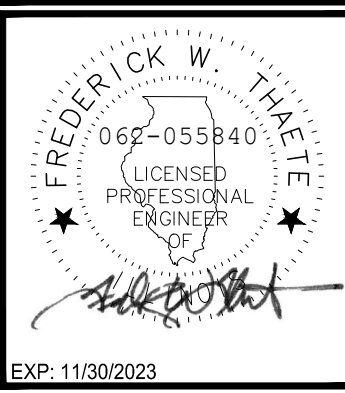


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FINAL ENGINEERING FOR
**CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4**
CENTRAL PARK BLVD
HUNTLEY, ILLINOIS

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|----------------------------------------------------------|
| PROJ NO: 190041 |
| ENG: AMS |
| DATE: 03/23/2022 |
| SHEET TITLE GRADING & DRAINAGE PLAN NW |
| SHEET NUMBER C3.0 |
| 11 OF 38 |



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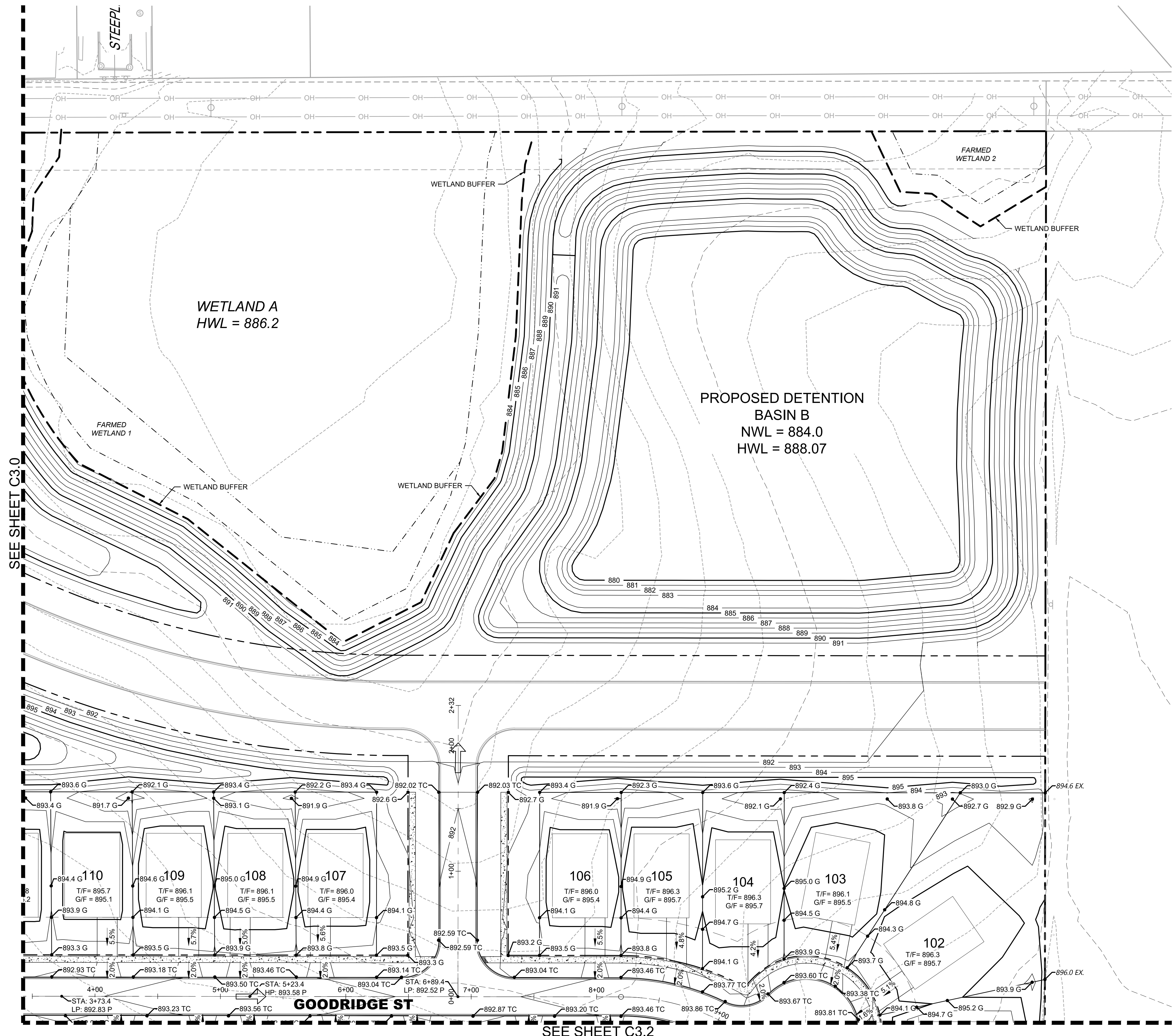
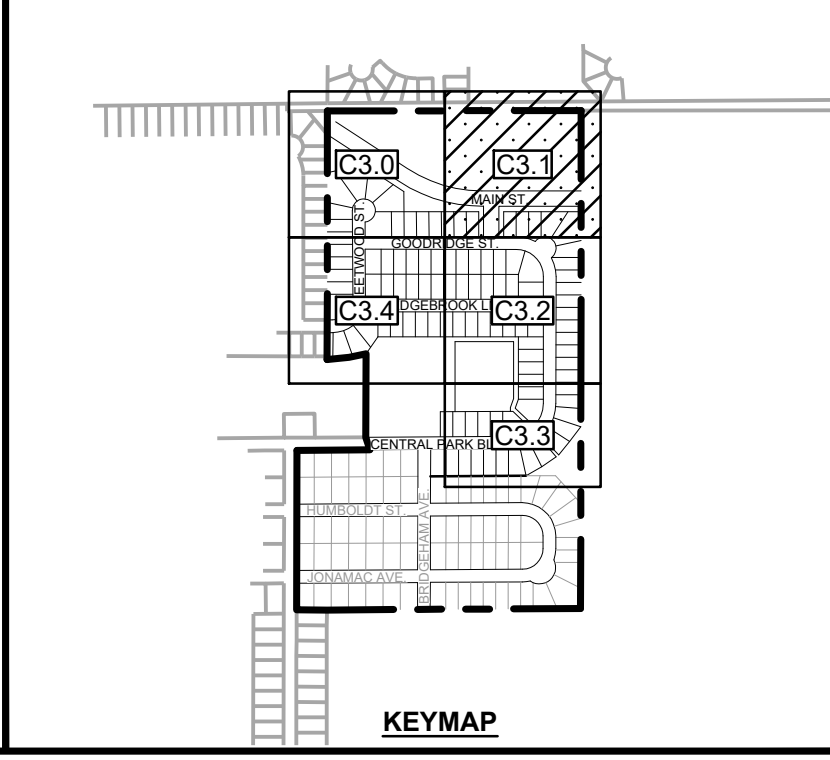
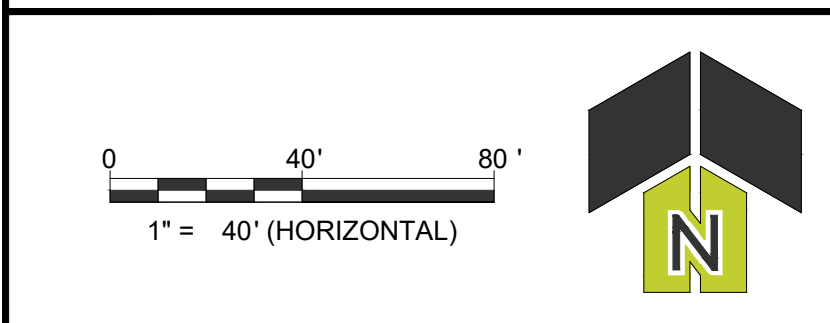
FINAL ENGINEERING FOR
CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4
 CENTRAL PARK BLVD
 HUNTLEY, ILLINOIS

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| PROJ NO: 190041 |
| ENG: AMS |
| DATE: 03/23/2022 |
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| GRADING & DRAINAGE PLAN NE |
| SHEET NUMBER |
| C3.1 |
| 12 OF 38 |

GRADING LEGEND

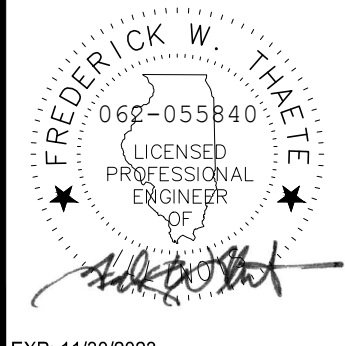
- 1.0% → DRAINAGE ARROW
- OVERLAND FLOOD ROUTE
- 100.00 P SPOT ELEVATION
- 100 PROPOSED MAJOR CONTOUR
- 100 PROPOSED MINOR CONTOUR
- 100 EXISTING MAJOR CONTOUR
- 100 EXISTING MINOR CONTOUR

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SEE SHEET C3.0

SEE SHEET C3.2



EXP. 11/30/2023

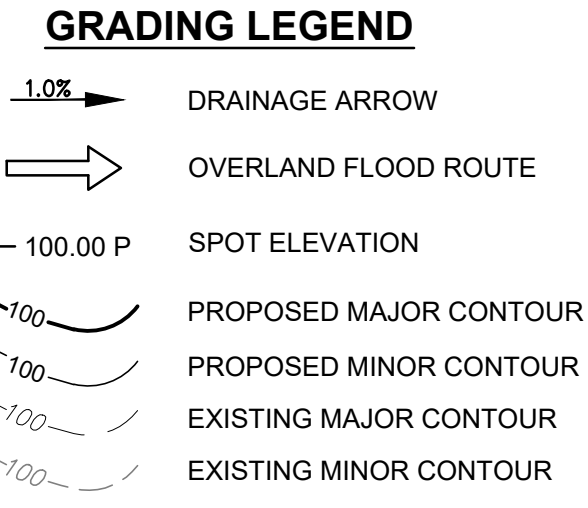
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FINAL ENGINEERING FOR
CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4
CENTRAL PARK BLVD
HUNTLEY, ILLINOIS

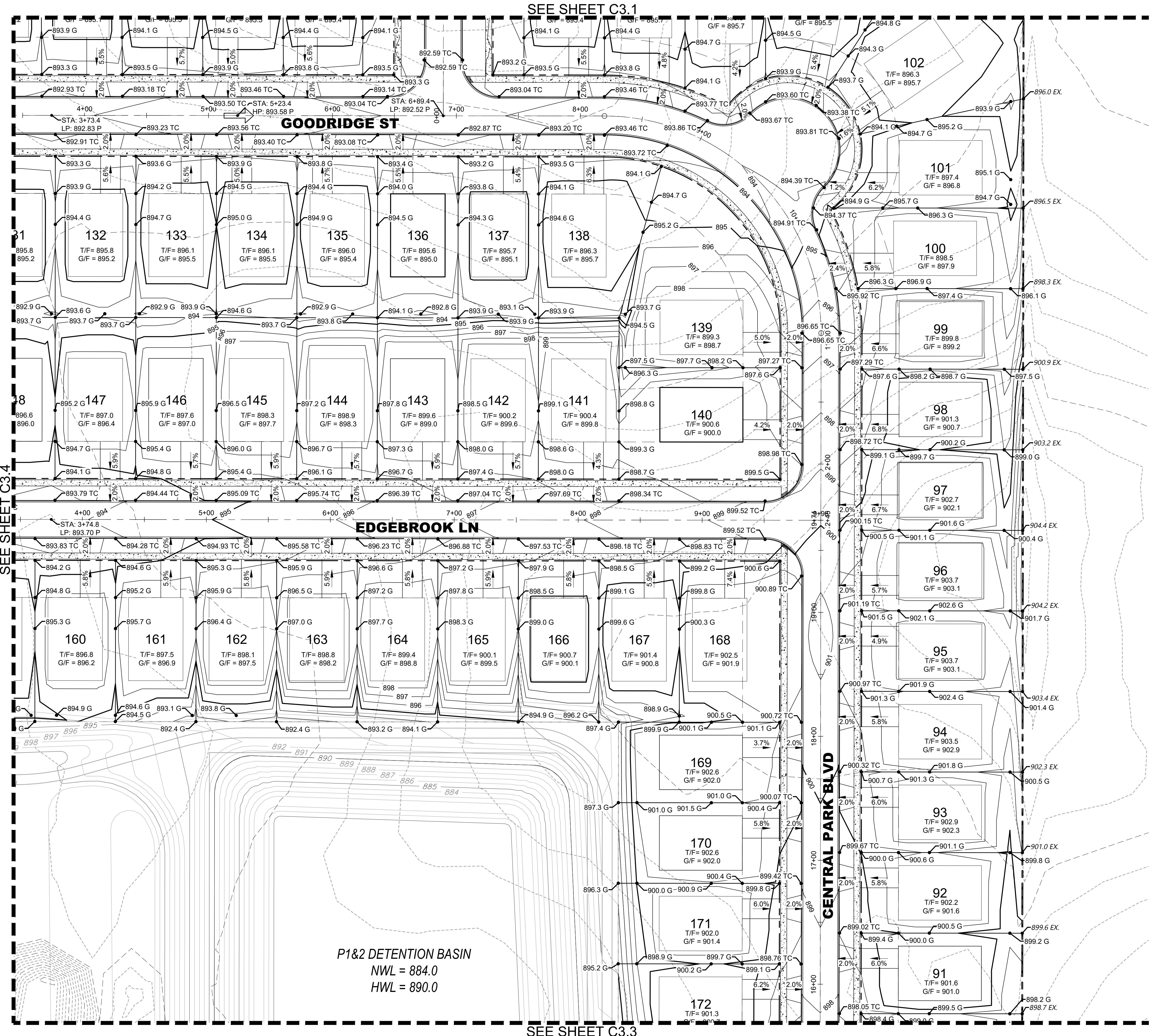
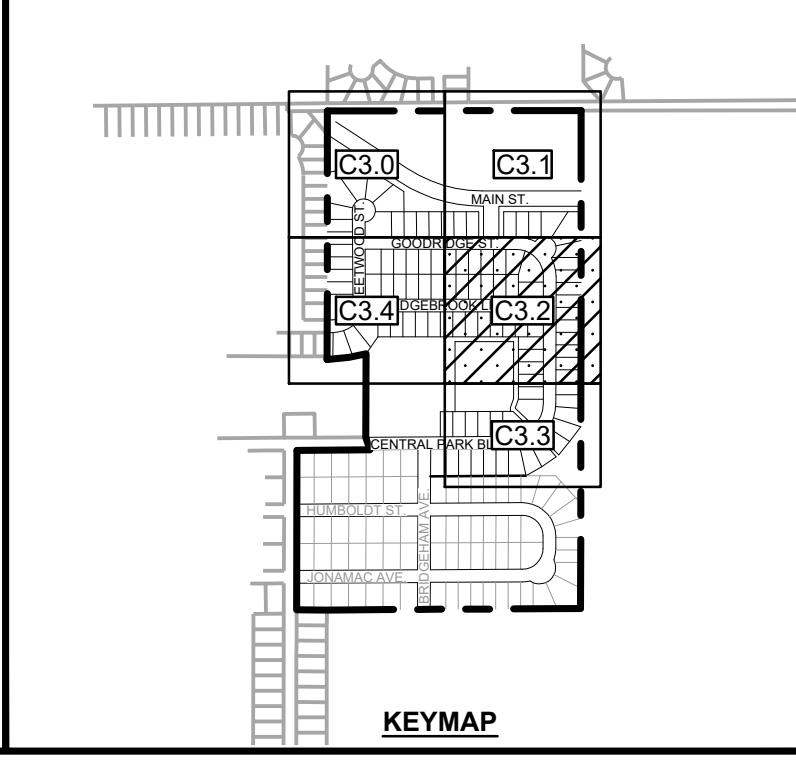
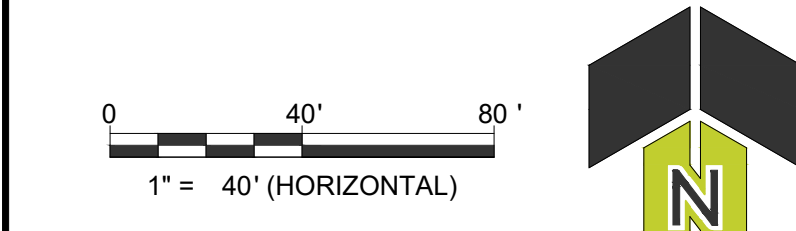
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ENG: AMS
DATE: 03/23/2022

SHEET TITLE
GRADING & DRAINAGE PLAN EAST

SHEET NUMBER
C3.2
13 OF 38



- SHEET NOTES**
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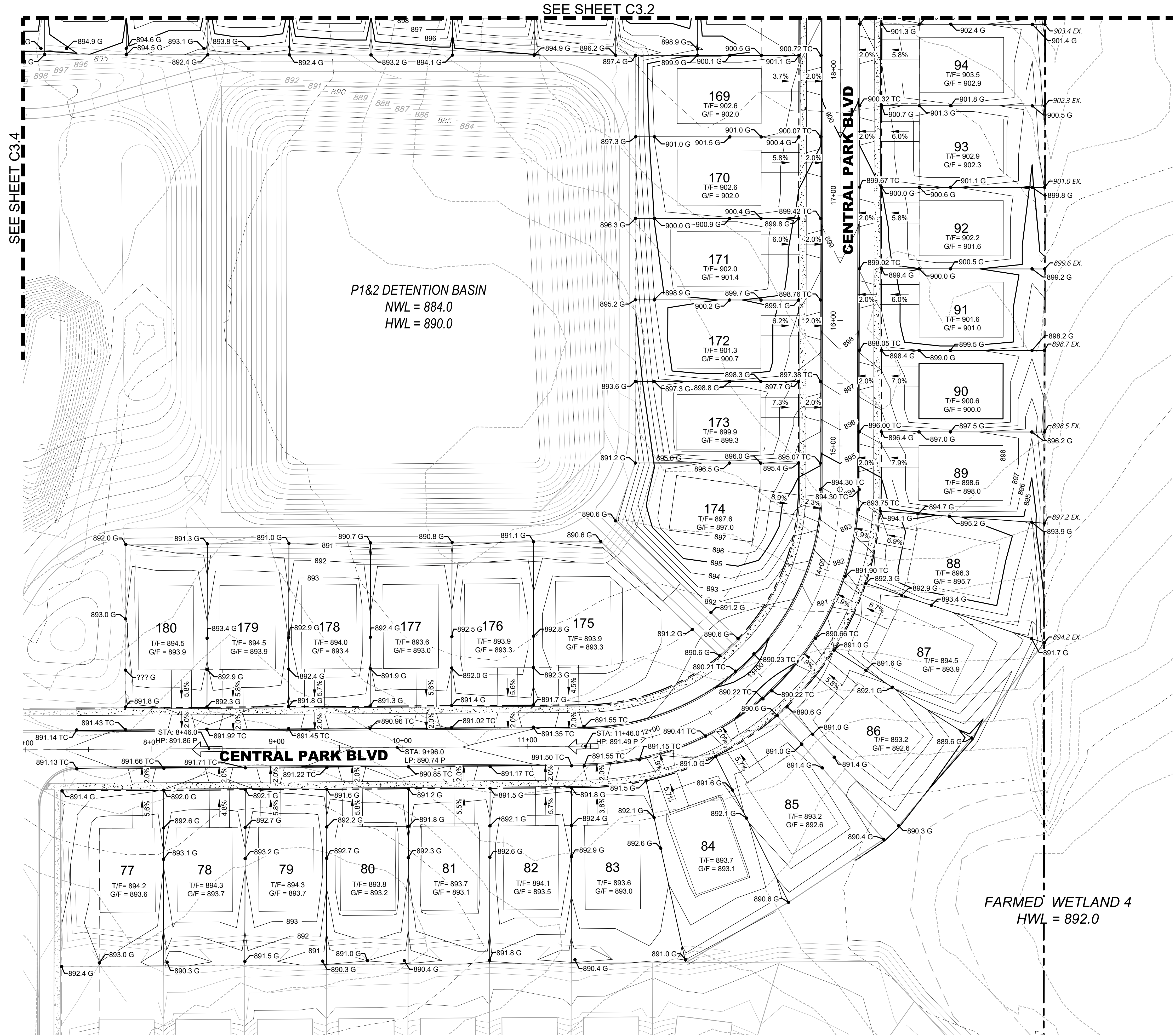


SEE SHEET C3.1

SEE SHEET C3.3

SEE SHEET C3.4

P&I DETENTION BASIN
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HWL = 890.0



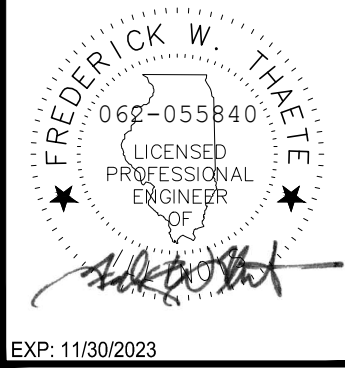
GRADING LEGEND

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- OVERLAND FLOOD ROUTE
- 100.00 P SPOT ELEVATION
- 100 PROPOSED MAJOR CONTOUR
- 100 PROPOSED MINOR CONTOUR
- 100 EXISTING MAJOR CONTOUR
- 100 EXISTING MINOR CONTOUR

SHEET NOTES

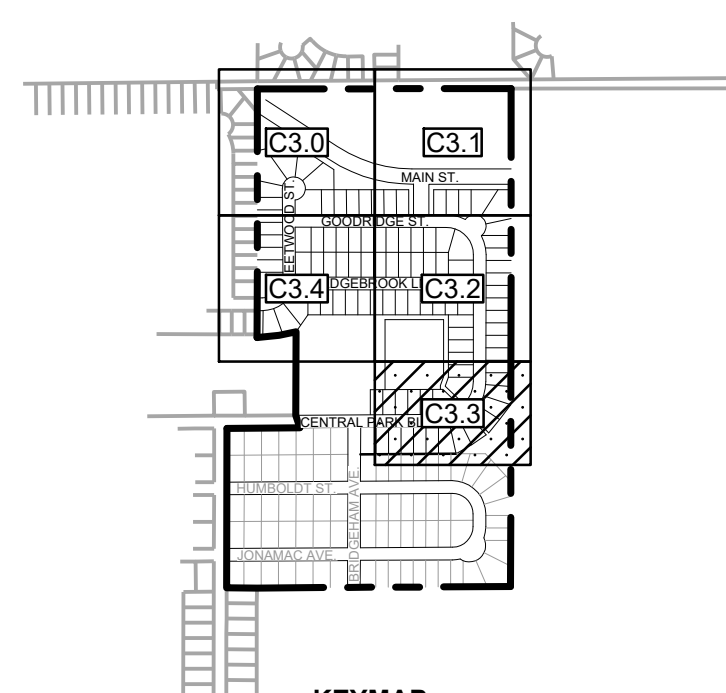
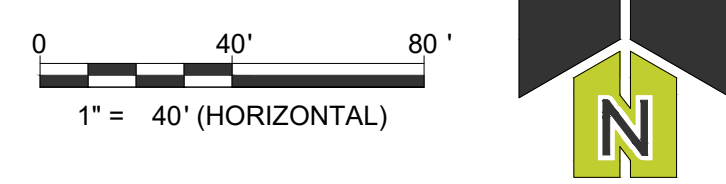
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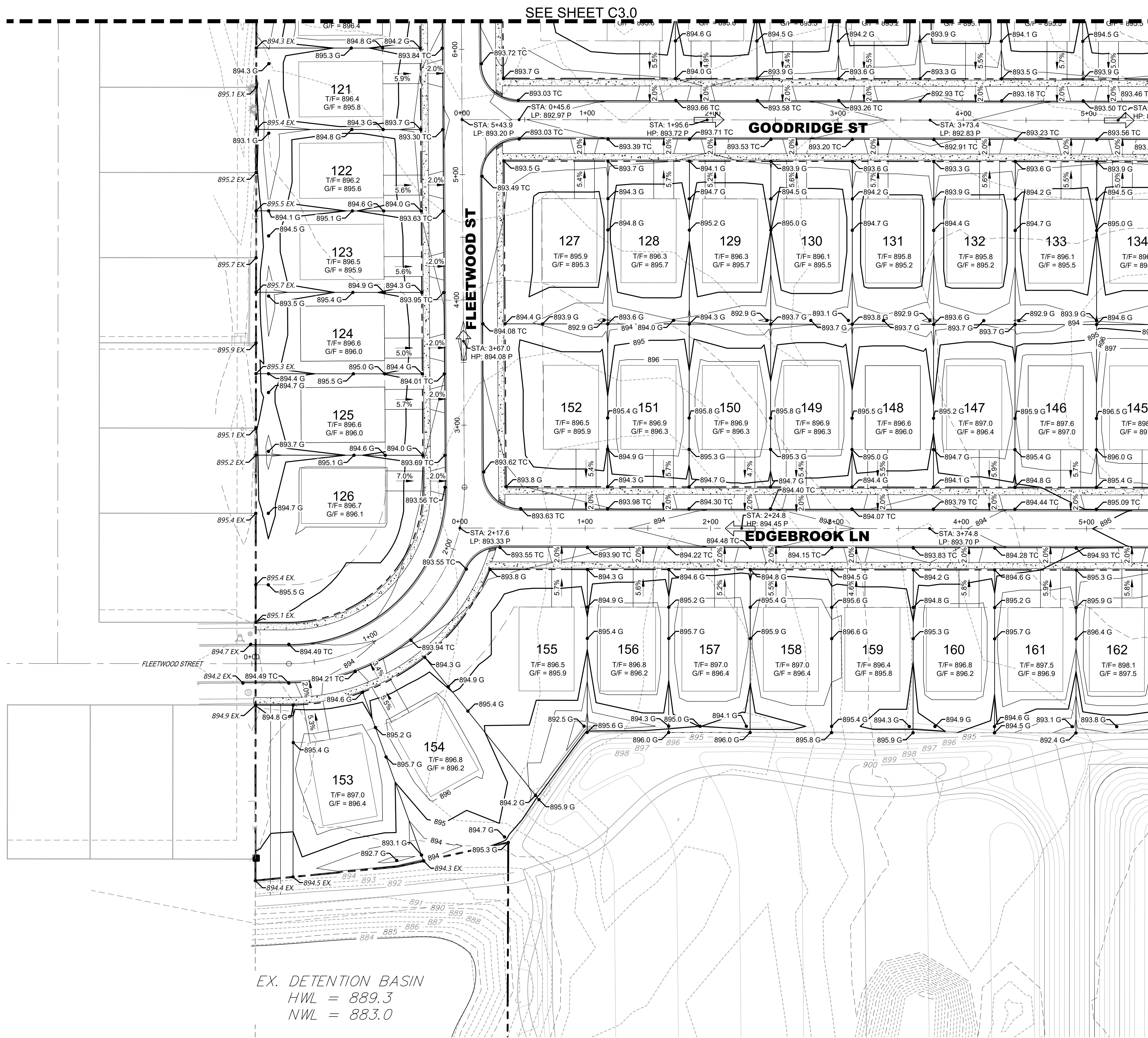
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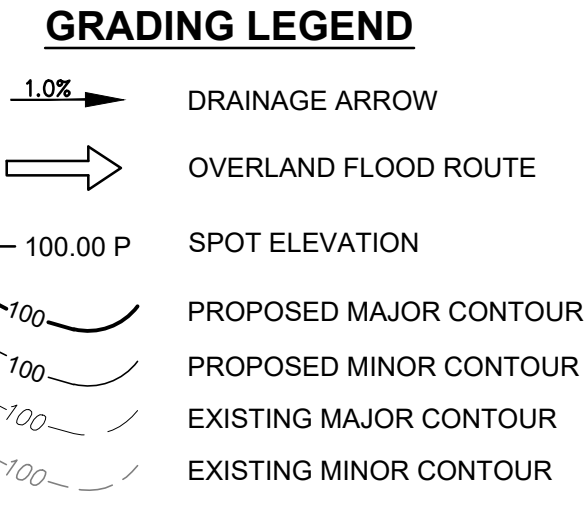
FINAL ENGINEERING FOR
CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4
 CENTRAL PARK BLVD
 HUNTLEY, ILLINOIS

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| PROJ NO: 190041 |
| ENG: AMS |
| DATE: 03/23/2022 |
| SHEET TITLE |
| GRADING & DRAINAGE PLAN SE |
| SHEET NUMBER |
| C3.3 |
| 14 OF 38 |

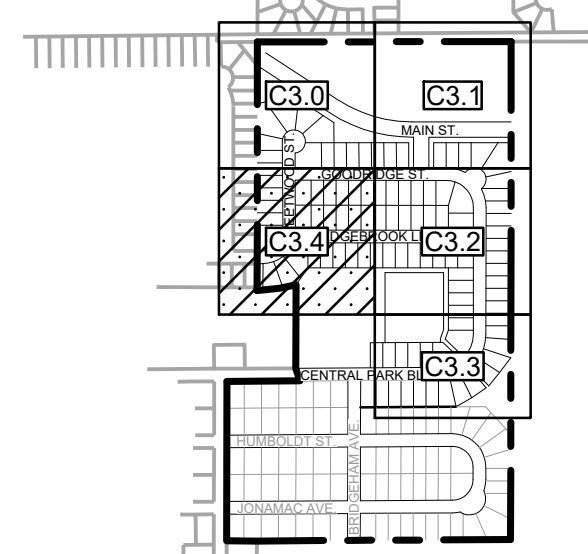
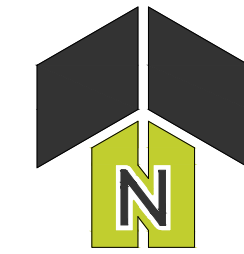


SEE SHEET C3.0

SEE SHEET C3.2

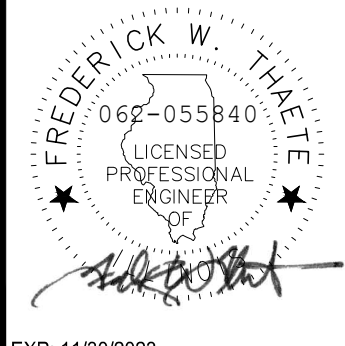


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EX. DETENTION BASIN
HWL = 889.3
NWL = 883.0

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DOWNERS GROVE, IL 60515
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FINAL ENGINEERING FOR
**CIDER GROVE SUBDIVISION
UNIT 2, PHASES 3 & 4**
CENTRAL PARK BLVD
HUNTLEY, ILLINOIS

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| PROJ NO: 190041 |
| ENG: AMS |
| DATE: 03/23/2022 |
| SHEET TITLE GRADING & DRAINAGE PLAN SW |
| SHEET NUMBER C3.4 15 OF 38 |

Final Landscape Plan

CIDER GROVE

PHASE 3 & 4

Huntley, Illinois

March 21, 2022

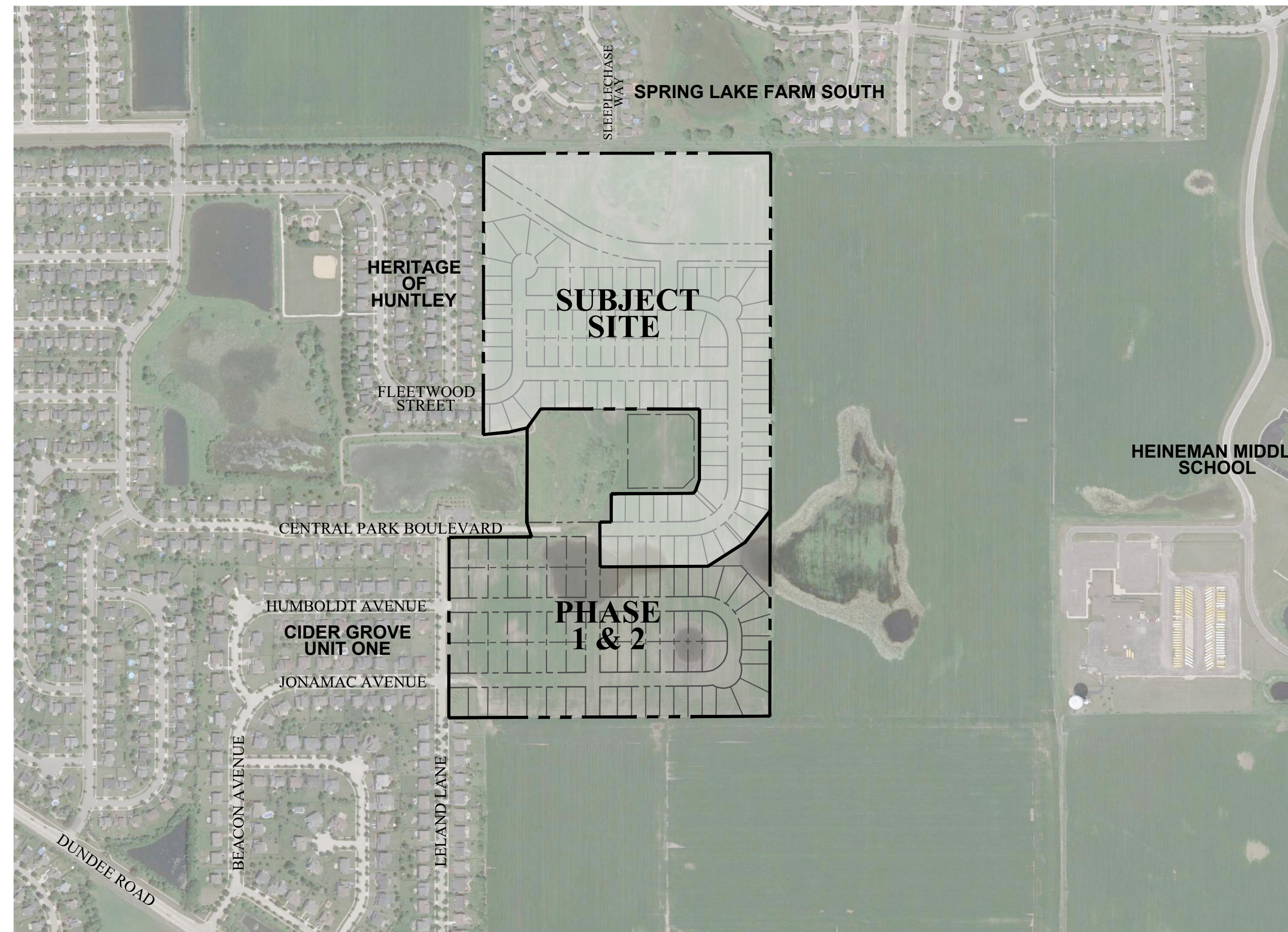
CONSULTANTS:



LANDSCAPE ARCHITECT:
 GARY R. WEBER ASSOCIATES, INC
 402 W. LIBERTY DRIVE
 WHEATON, ILLINOIS 60187



CIVIL ENGINEER:
 CAGE CIVIL ENGINEERING
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, ILLINOIS 60515



LOCATION MAP
 SCALE: 1"=400'

INDEX OF SHEETS

| SHEET NO. | DESCRIPTION |
|-----------|--------------------------|
| 0 | COVER SHEET |
| 1 | OVERALL LANDSCAPE PLAN |
| 2 | LANDSCAPE PLAN |
| 3 | LANDSCAPE PLAN |
| 4 | LANDSCAPE DETAILS |
| 5 | LANDSCAPE SPECIFICATIONS |



PLANT LIST

| Key | Qty | Botanical/Common Name | Size | Remarks | Key | Qty | Botanical/Common Name | Size | Remarks |
|-------------------------|-----|-----------------------------------------------------------------|-------------|------------|------------------------------------------|----------|--------------------------------------------------------|----------|----------|
| SHADE TREES | | | | | | | | | |
| AF | 9 | Acer x freemanii 'Marmo' MARMO FREEMAN MAPLE | 2 1/2' Cal. | | JG | 36 | Juniperus chinensis 'Gold Lace' GOLD LACE JUNIPER | 30" Wide | 5' O.C. |
| AF3 | 17 | Acer x freemanii 'Marmo' MARMO FREEMAN MAPLE | 3" Cal. | | JC | 36 | Juniperus chinensis 'Sea Green' SEA GREEN JUNIPER | 30" Wide | 5' O.C. |
| AMB | 21 | Acer miyabei 'Morton' STATE STREET MAPLE | 2 1/2' Cal. | | PERENNIALS AND ORNAMENTAL GRASSES | | | | |
| COB | 18 | Celtis occidentalis COMMON HACKBERRY | 3" Cal. | | EC | 110 | Echinacea 'CBG Cone 2' PIXIE MEADOWBRITE CONEFLOWER | #1 | 18" O.C. |
| QB | 15 | Quercus bicolor SWAMP WHITE OAK | 2 1/2' Cal. | | HH | 120 | Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY | #1 | 18" O.C. |
| QB3 | 16 | Quercus bicolor SWAMP WHITE OAK | 3" Cal. | | SH | 84 | Sporobolus heterolepis PRAIRIE DROPSEED | #1 | 24" O.C. |
| QI | 3 | Quercus imbricaria SHINGLE OAK | 2 1/2' Cal. | | MISC. MATERIALS | | | | |
| QM | 26 | Quercus macrocarpa BUR OAK | 2 1/2' Cal. | | 159 | | SHREDDED HARDWOOD MULCH | C.Y. | |
| QM3 | 17 | Quercus macrocarpa BUR OAK | 3" Cal. | | 8,380 | | SOD | S.Y. | |
| QR3 | 16 | Quercus rubra RED OAK | 3" Cal. | | 4.2 | | TURF SEED & EROSION CONTROL BLANKET | AC. | |
| TA | 15 | Tilia americana 'Redmond' REDMOND AMERICAN LINDEN | 2 1/2' Cal. | | NATIVE LEGEND | | | | |
| TA3 | 23 | Tilia americana 'McSentry' REDMOND AMERICAN LINDEN | 3" Cal. | | Key | Qty. | Description | | |
| TC | 3 | Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN | 2 1/2' Cal. | | | 0.50 AC. | EMERGENT SEED MIX | | |
| TC3 | 20 | Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN | 3" Cal. | | | 0.42 AC. | WET MEADOW SEED MIX | | |
| ORNAMENTAL TREES | | | | | | | | | |
| AG | 8 | Amelanchier x grandiflora APPLE SERVICEBERRY | 6' Ht. | Multi-Stem | | 3.36 AC. | LOW PROFILE PRAIRIE SEED MIX | | |
| BN | 15 | Betula nigra 'Gully' HERITAGE RIVER BIRCH | 6' Ht. | Multi-Stem | | 10 | NATURALIZED AREA SIGN | | |
| CM | 20 | Cornus mas CORNELIANCHERRY DOGWOOD | 6' Ht. | Multi-Stem | | | | | |
| CT | 10 | Crataegus crusgalli COCKSPUR HAWTHORN | 6' Ht. | Multi-Stem | | | | | |
| MP | 16 | Malus 'Prairifire' PRAIRIFIRE CRABAPPLE | 6' Ht. | Multi-Stem | | | | | |
| EVERGREEN TREES | | | | | | | | | |
| AC | 34 | Abies concolor WHITE FIR | 8' Ht. | | | | | | |
| PG | 25 | Picea glauca var. densata BLACK HILLS SPRUCE | 8' Ht. | | | | | | |
| PP | 12 | Picea pungens COLORADO SPRUCE | 8' Ht. | | | | | | |
| DECIDUOUS SHRUBS | | | | | | | | | |
| CS | 29 | Cornus sericea 'Bailey' BAILEY'S REDTWIG DOGWOOD | 36" Tall | 5' O.C. | | | | | |
| SM | 36 | Syringa meyeri 'Palatin' DWARF KOREAN LILAC | 30" Tall | 4' O.C. | | | | | |
| VT | 48 | Viburnum trilobum 'Redwing' JN SELECT CRANBERRYBUSH VIBURNUM | 36" Tall | 5' O.C. | | | | | |

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

STREET TREE REQUIREMENTS

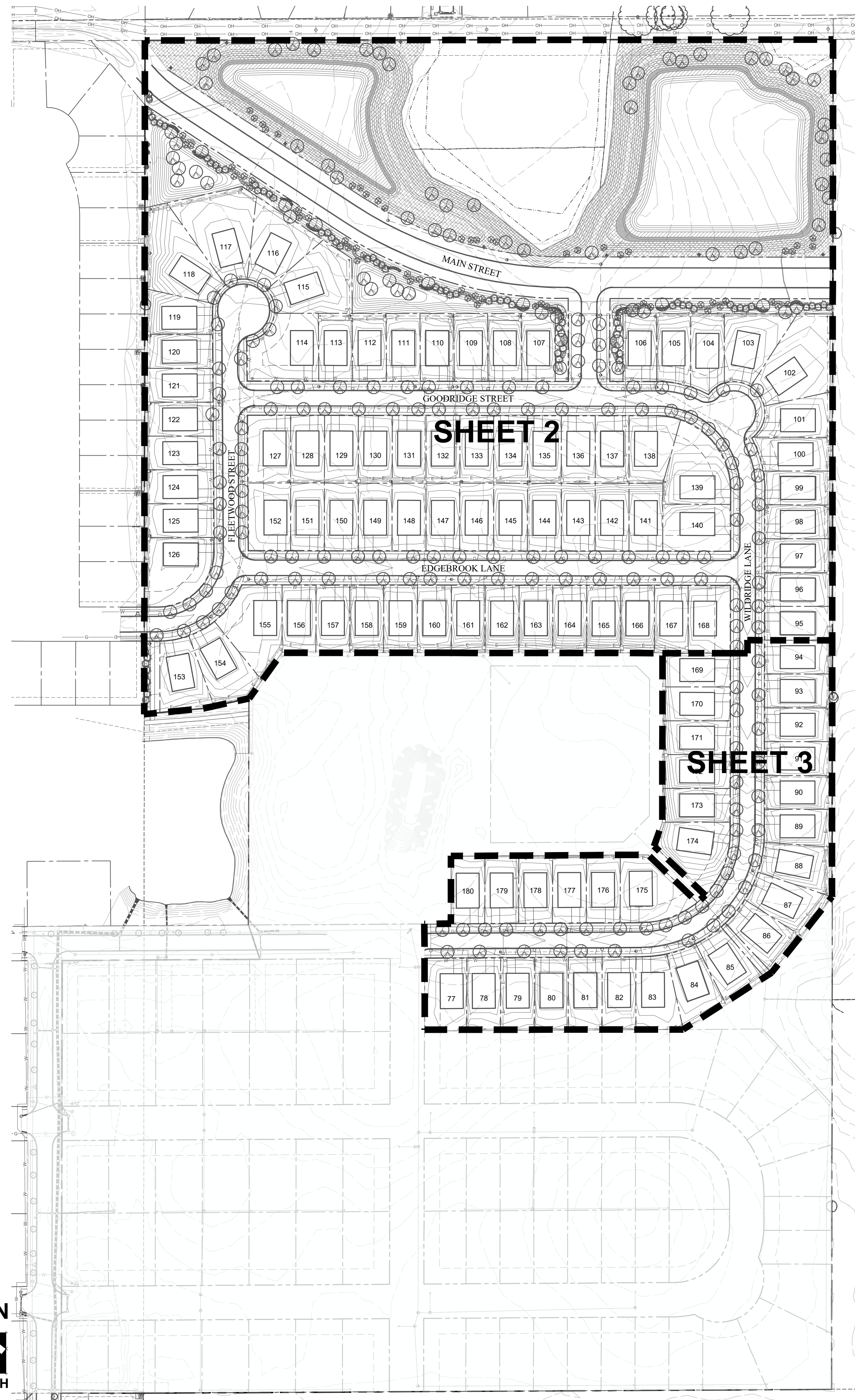
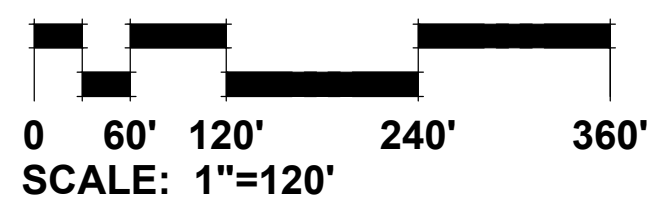
REQUIRED STREET TREES BASED ON 1 TREE EVERY 40' OF R.O.W. LESS THE 40' SETBACK AT INTERSECTIONS

R.O.W. LENGTH = 8,434
 REQUIRED TREES = 211
 PROVIDED TREES = 148

NOTE:
 STREET TREES TO BE SPACED 5' FROM BACK OF CURB, 5' FROM SIDEWALK, 5' FROM FIRE HYDRANTS, 10' FROM DRIVEWAYS. THERE SHALL BE 20' HORIZONTAL SEPARATION BETWEEN THE PARKWAY TREES AND PROPOSED STREET LIGHTS.

TREES ARE SPECIFIED AT 3" CALIPER IN THE PARKWAY PER VILLAGE CODE

OVERALL LANDSCAPE PLAN



GARY R. WEBER
 ASSOCIATES, INC.
 LAND PLANNING
 ECOLOGICAL CONSULTING
 LANDSCAPE ARCHITECTURE
 402 W. LIBERTY DRIVE
 WHEATON, ILLINOIS 60187
 PHONE: 630-668-7197

CLIENT
D.R. HORTON
America's Builder
 1750 E. GOLF ROAD, SUITE 925
 SCHAMBURG, IL 60173
 CIVIL ENGINEER
CAGE CIVIL ENGINEERING
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515

CIDER GROVE - PHASE 3 & 4

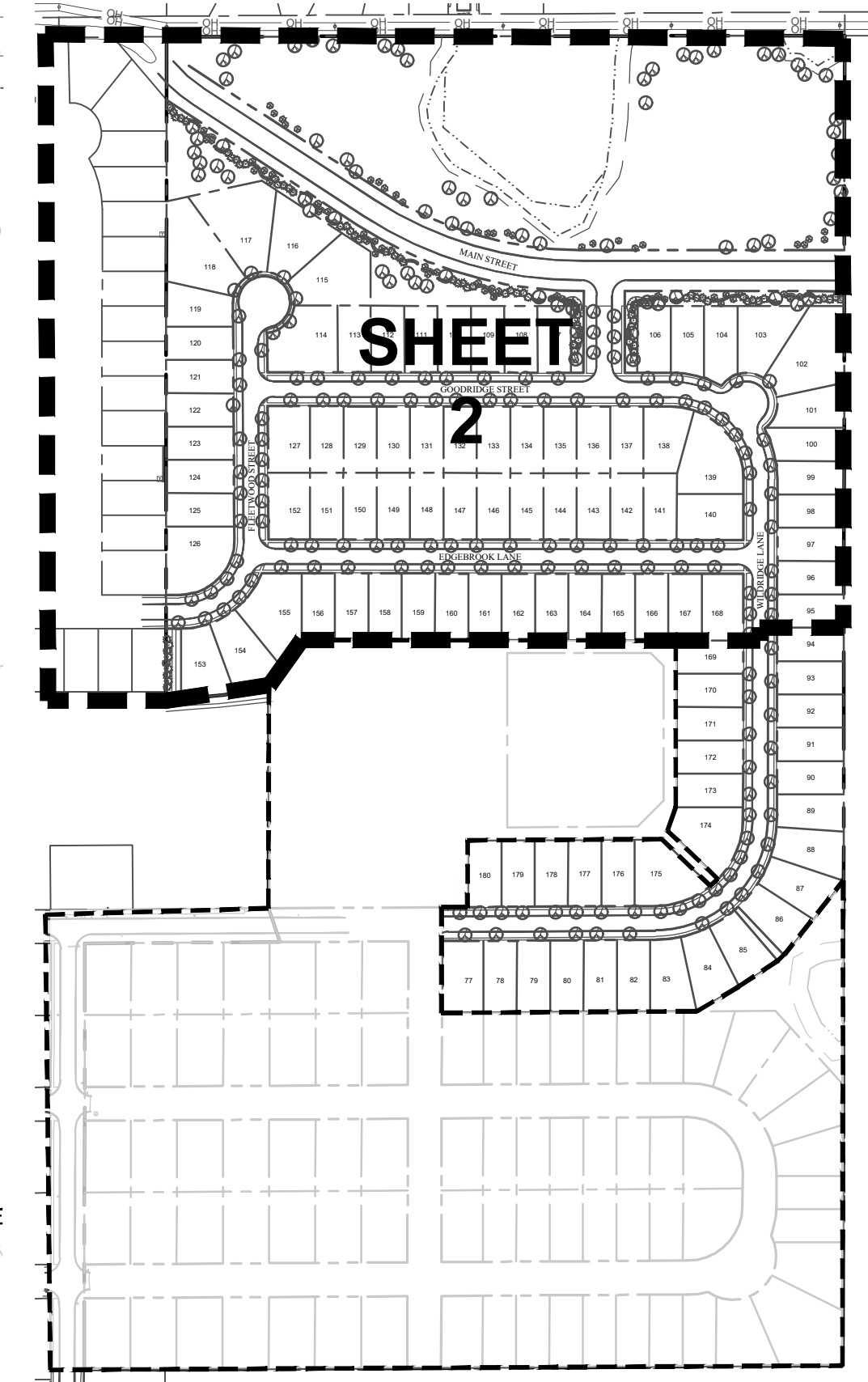
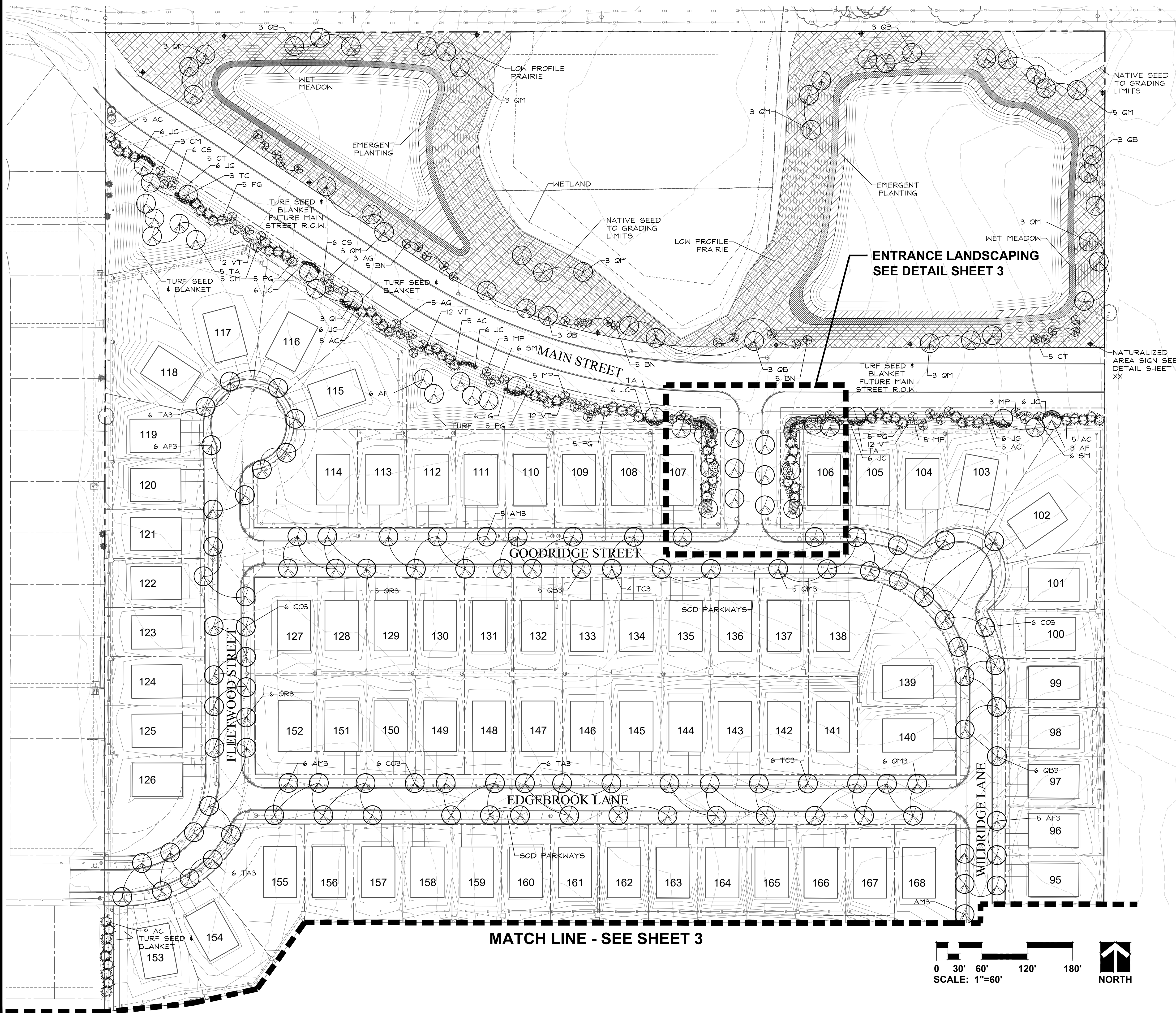
HUNTLEY, ILLINOIS

OVERALL LANDSCAPE PLAN

REVISIONS

DATE 3.21.2022
 PROJECT NO. DR1952
 DRAWN CLE
 CHECKED MGM
 SHEET NO.



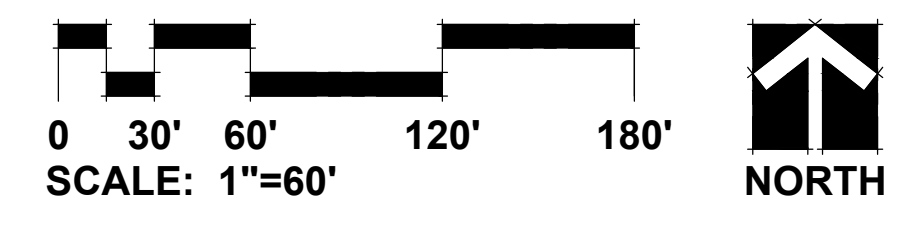


SHEET KEY MAP
SCALE: N.T.S.

NATIVE SEED LEGEND

| Key | Description |
|-----|---------------------------------------------------|
| | EMERGENT PLANTINGS |
| | WET MEADOW SEED MIX |
| | LOW PROFILE PRAIRIE SEED MIX |
| | NATURALIZED AREA SIGN - SEE QUANTITIES ON SHEET 1 |

MATCH LINE - SEE SHEET 3



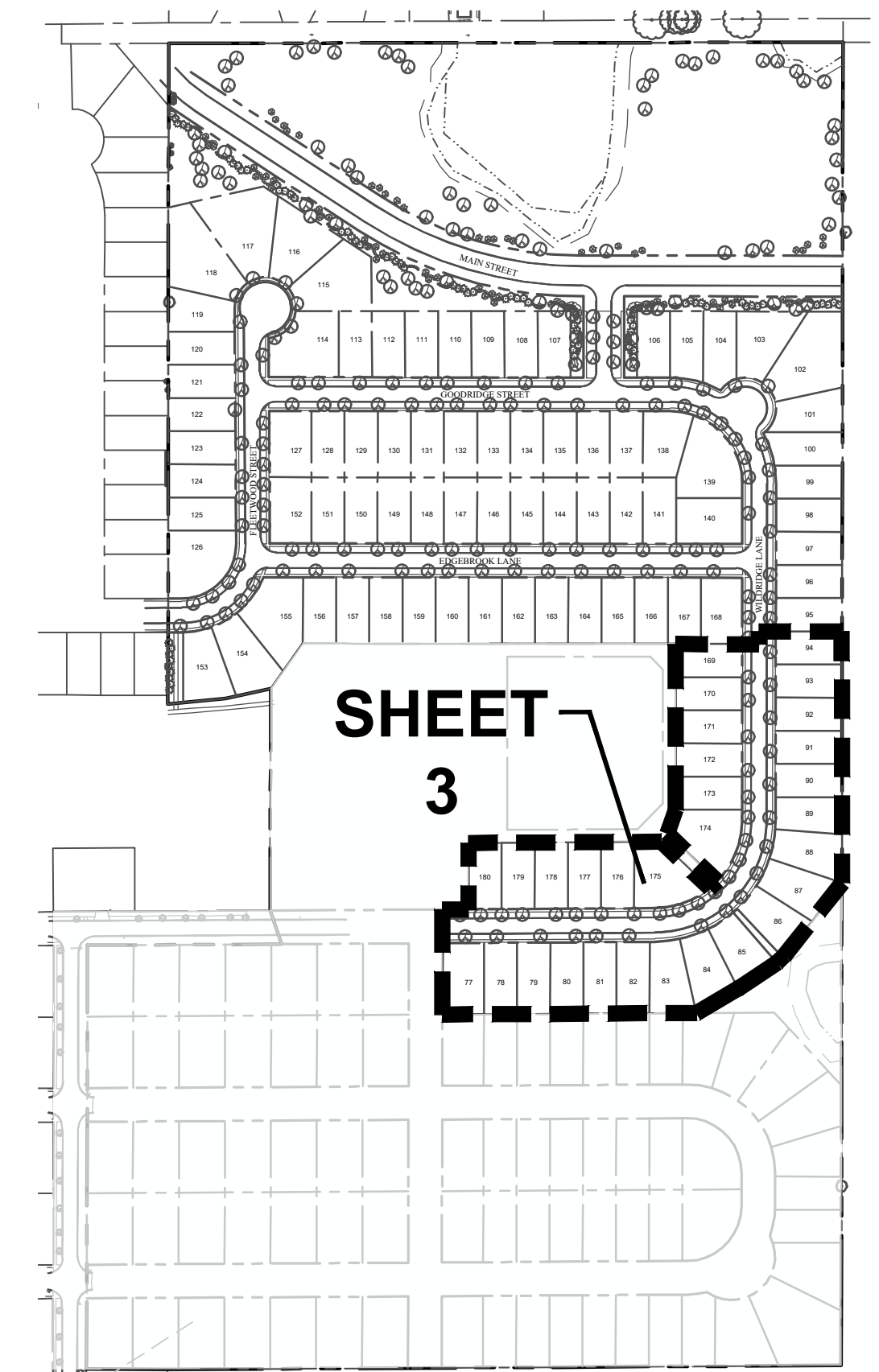
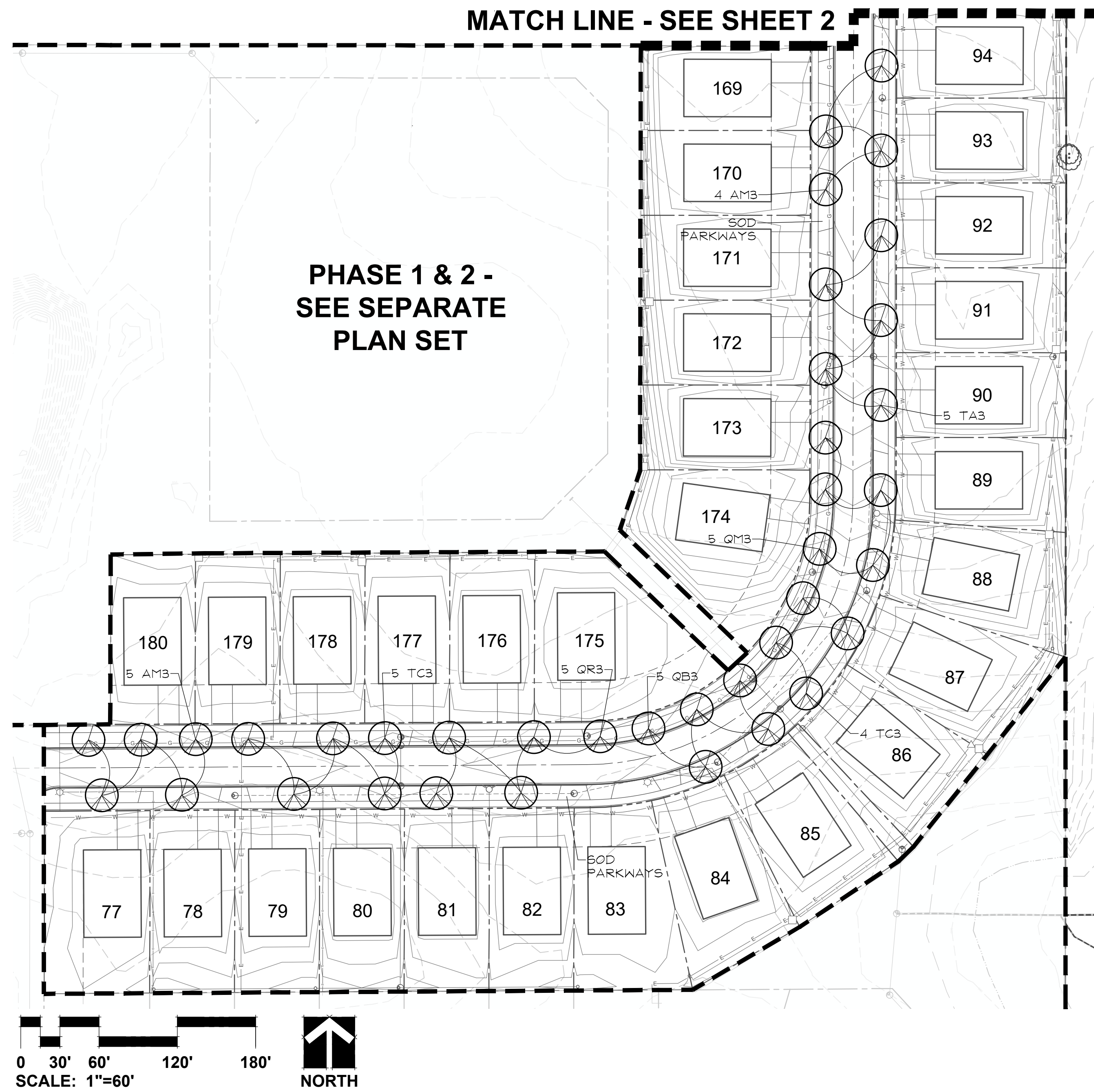
GRWA
GARY R. WEBER ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187
PHONE: 630-668-7197

CLIENT
D.R. HORTON
America's Builder
1750 E. GOLF ROAD, SUITE 925
SCHLAUBURG, IL 60173
CIVIL ENGINEER
CAGE CIVIL ENGINEERING
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515

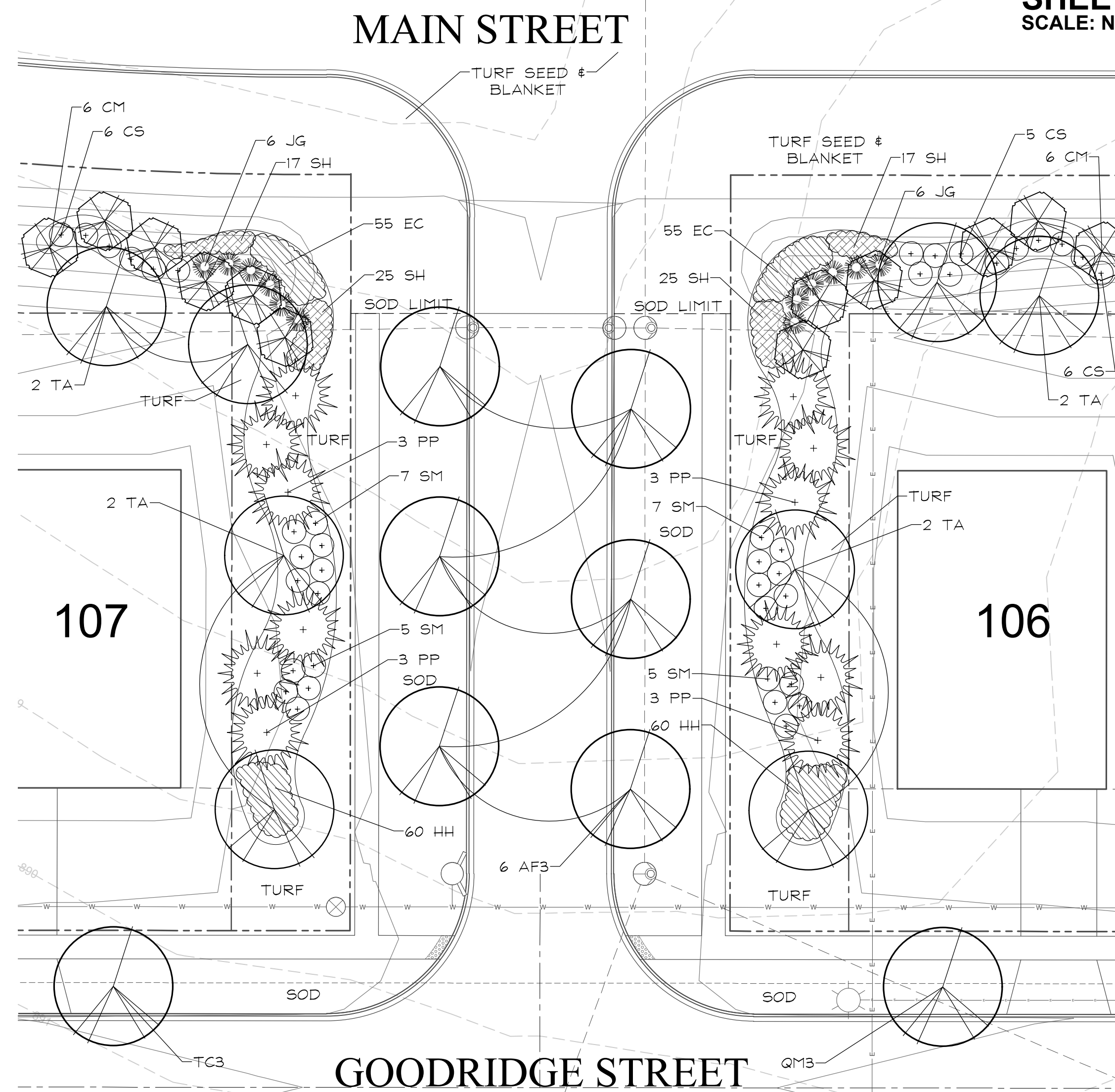
CIDER GROVE - PHASE 3 & 4
HUNTLEY, ILLINOIS
LANDSCAPE PLAN

REVISIONS

| DATE | 3.21.2022 |
|-------------|-----------|
| PROJECT NO. | DR1952 |
| DRAWN | CLE |
| CHECKED | MGM |
| SHEET NO. | |



SHEET KEY MAP
SCALE: N.T.S.



ENTRANCE LANDSCAPE DETAIL
SCALE: 1"=20'



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LANDSCAPE PLAN

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NATIVE SEED MIXTURES

Temporary Cover Crop

Cover crops shall be installed in all planting areas containing dry mesic, mesic, and wet mesic soils to, stabilize soils, and combat weed pressure during the germination and establishment of the native seeding area.

| Botanical Name | Common Name | lbs / AC |
|-----------------------------------|-------------|----------|
| Spring Cover Crop | | |
| <i>Avena sativa</i> | Seed Oats | 30,000 |
| Fall or Dormant Cover Crop | | |
| <i>Triticum aestivum</i> | Regreen | 10,000 |

Emergent Wetland Plant Mix

Stormwater basin bottoms in areas with 6" of water

| Botanical Name | Common Name | lbs / AC | Plugs / AC. |
|-----------------------------------|-------------------|--------------|-------------|
| <i>Acorus calamus</i> | Sweet Flag | 0.500 | 494 |
| <i>Alisma subcordatum</i> | Water Plantain | 1.250 | |
| <i>Iris virginica shrevei</i> | Blue Flag | 0.500 | 494 |
| <i>Juncus effusus</i> | Common Rush | 0.500 | |
| <i>Leersia oryzoides</i> | Rice Cut Grass | 1.250 | 494 |
| <i>Pontederia cordata</i> | Pickereel Weed | 0.250 | 494 |
| <i>Sagittaria latifolia</i> | Common Arrowhead | 1.250 | 494 |
| <i>Scirpus acutus</i> | Hardstem Bulrush | 0.500 | 988 |
| <i>Scirpus fluviatilis</i> | River Bulrush | 1.000 | 494 |
| <i>Scirpus pungens</i> | Chairmaker's Rush | 0.250 | |
| <i>Scirpus validus</i> | Great Bulrush | 0.500 | 988 |
| <i>Sparganium eurycarpum</i> | Bur Reed | 1.000 | 494 |
| Total Emergent Wetland Mix | | 8.750 | 5434 |

Wet Meadow Seed Mixture

Lower slopes of basin

| Botanical Name | Common Name | lbs / AC |
|-------------------------------|----------------------|--------------|
| Grasses / Sedges | | |
| <i>Carex bebbii</i> | Bebbs Oval Sedge | 0.250 |
| <i>Carex bicknellii</i> | Bicknells Sedge | 0.125 |
| <i>Carex brevior</i> | Plains Oval Sedge | 0.250 |
| <i>Carex cristatella</i> | Crested Oval Sedge | 0.060 |
| <i>Carex molesta</i> | Field Oval Sedge | 0.250 |
| <i>Carex normalis</i> | Spreading Oval Sedge | 0.015 |
| <i>Carex scorparia</i> | Pointed Broom Sedge | 0.190 |
| <i>Carex stipata</i> | Common Fox Sedge | 0.060 |
| <i>Carex vulpinoidea</i> | Brown Fox Sedge | 0.250 |
| <i>Elymus virginicus</i> | Virginia Wild Rye | 3.000 |
| <i>Glyceria striata</i> | Fowl Manna Grass | 0.130 |
| <i>Juncus dudleyi</i> | Dudleys Rush | 0.020 |
| <i>Juncus torreyi</i> | Torreys Rush | 0.031 |
| <i>Panicum virgatum</i> | Switch Grass | 3.000 |
| <i>Scirpus atrovirens</i> | Dark Green Bulrush | 0.060 |
| <i>Scirpus cypripinus</i> | Wool Grass | 0.030 |
| Total Grasses / Sedges | | 7.721 |

Wildflowers/Broadleaves

| | | |
|-------------------------------------------|------------------------|---------------|
| <i>Asclepias incarnata</i> | Swamp Milkweed | 0.125 |
| <i>Bidens cernua</i> | Nodding Bur Marigold | 0.190 |
| <i>Boltonia asteroides</i> | False Aster | 0.031 |
| <i>Chamaecrista fasciculata</i> | Partridge pea | 0.188 |
| <i>Euthamia graminifolia</i> | Grassleaved Goldenrod | 0.300 |
| <i>Eupatorium perfoliatum</i> | Common Boneset | 0.015 |
| <i>Helenium autumnale</i> | Sneezeweed | 0.063 |
| <i>Iris virginica shrevei</i> | Blue Flag Iris | 1.000 |
| <i>Lobelia siphilitica</i> | Great Blue Lobelia | 0.031 |
| <i>Mimulus ringens</i> | Monkey Flower | 0.031 |
| <i>Symphoricarion novae-angliae</i> | New England Aster | 0.250 |
| <i>Pycnanthemum virginianum</i> | Common Mountain Mint | 0.063 |
| <i>Rudbeckia fulgida var. sullivantii</i> | Showy Black-Eyed Susan | 0.250 |
| <i>Zizia aurea</i> | Golden Alexanders | 0.500 |
| Total Forbs | | 3.037 |
| Total Sedge Meadow Seed Mix | | 10.758 |

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variances.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

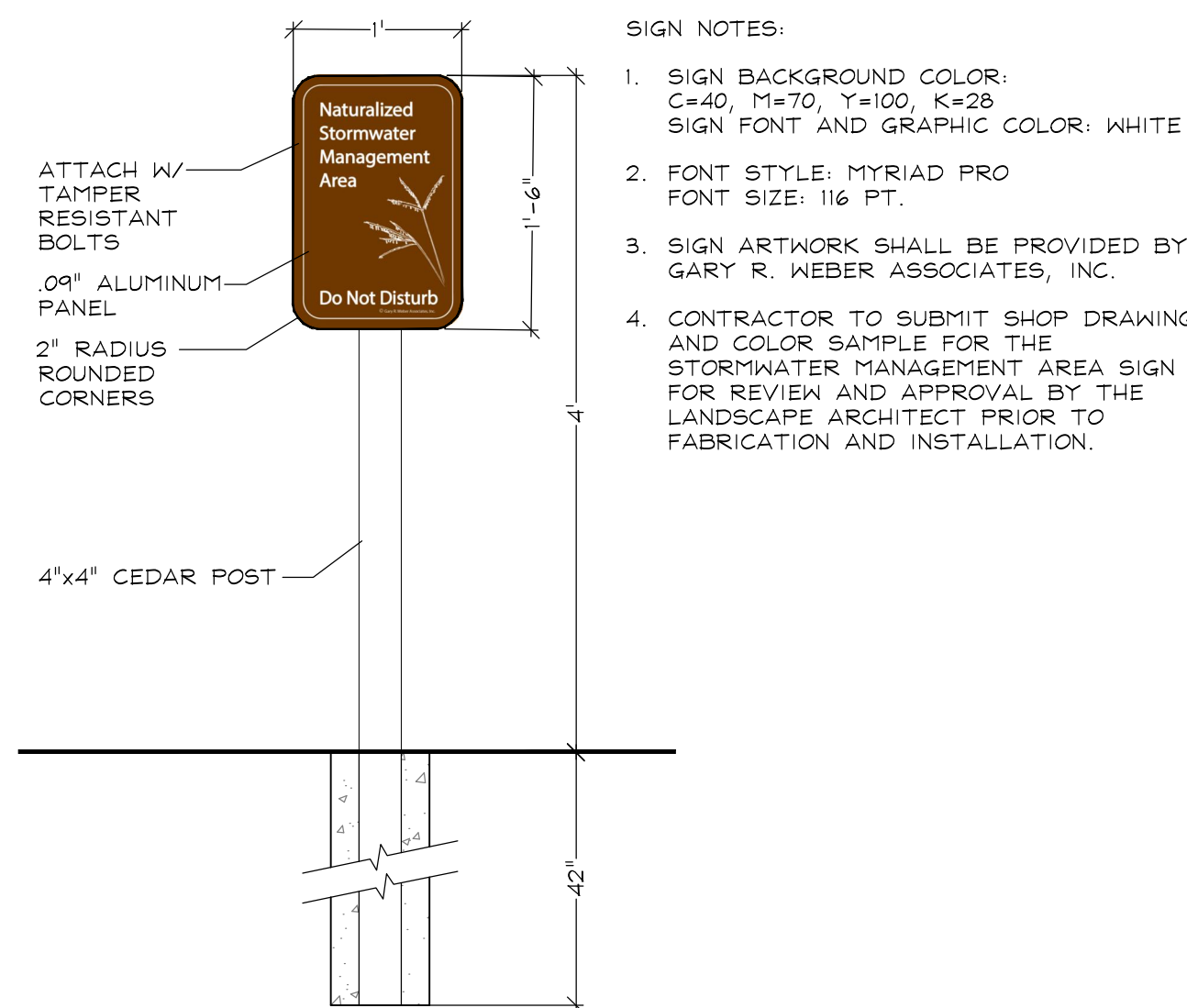
Low Profile Prairie with Flowers Seed Mix

Upper basin slopes

| Botanical Name | Common Name | lbs / AC |
|--------------------------------|----------------------|---------------|
| Grasses | | |
| <i>Bouteloua curtipendula</i> | Side Oats Grama | 8.000 |
| <i>Panicum virgatum</i> | Prairie Switch Grass | 0.125 |
| <i>Elymus trachycaulus</i> | Slender Wheatgrass | 2.000 |
| <i>Elymus canadensis</i> | Prairie Wild Rye | 1.000 |
| <i>Schizachyrium scoparium</i> | Little Bluestem | 6.000 |
| Total Grasses | | 17.125 |

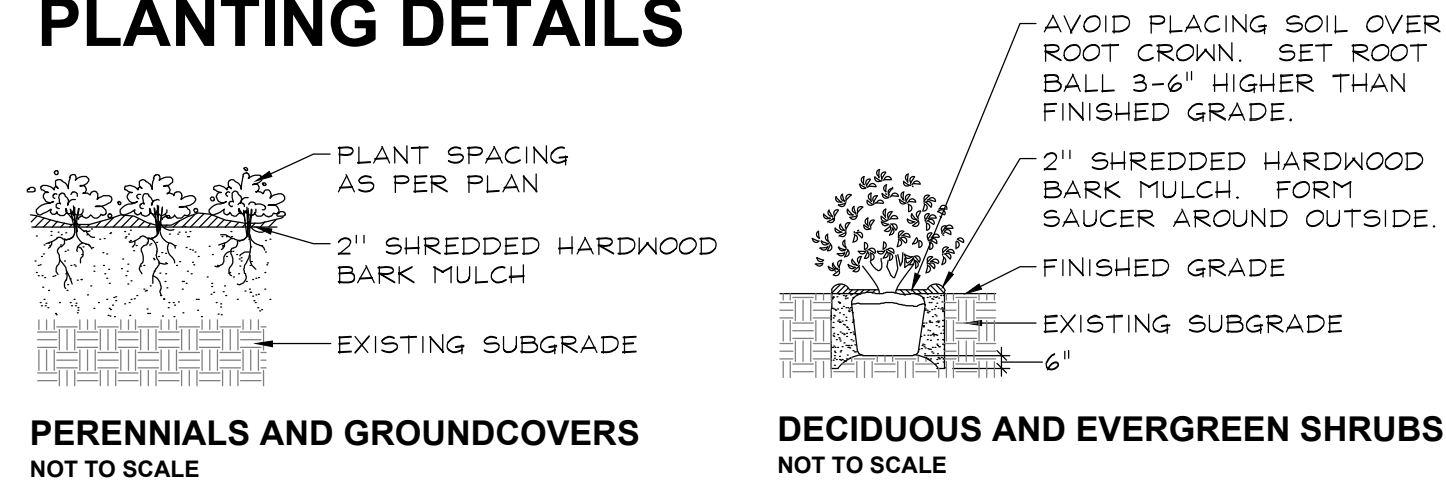
Wildflowers/Broadleaves

| | | |
|-------------------------------------------|--------------------------|---------------|
| <i>Allium cernuum</i> | Nodding Wild Onion | 0.190 |
| <i>Amorpha canescens</i> | Lead Plant | 0.125 |
| <i>Asclepias canadensis</i> | Whorled Milkweed | 0.063 |
| <i>Asclepias tuberosa</i> | Butterflyweed | 0.500 |
| <i>Astragalus canadensis</i> | Canada Milk Vetch | 0.063 |
| <i>Coreopsis palmata</i> | Prairie Coreopsis | 0.025 |
| <i>Echinacea pallida</i> | Pale Purple Coneflower | 1.000 |
| <i>Echinacea purpurea</i> | Purple Coneflower | 0.500 |
| <i>Eryngium yuccifolium</i> | Rattlesnake Master | 0.125 |
| <i>Lespedeza capitata</i> | Round-Headed Bush Clover | 0.125 |
| <i>Liatris aspera</i> | Rough Blazing Star | 0.250 |
| <i>Liatris pycnostachya</i> | Prairie Blazing Star | 0.188 |
| <i>Monarda fistulosa</i> | Prairie Bergamot | 0.063 |
| <i>Parthenium integrifolium</i> | Wild Quinine | 0.016 |
| <i>Penstemon digitalis</i> | Foxglove Beard Tongue | 0.125 |
| <i>Petalostemum candidum</i> | White Prairie Clover | 0.125 |
| <i>Petalostemum purpureum</i> | Purple Prairie Clover | 0.156 |
| <i>Potentilla arguta</i> | Prairie Cinquefoil | 0.031 |
| <i>Pycnanthemum tenuifolium</i> | Slender Mountain Mint | 0.031 |
| <i>Ratibida pinnata</i> | Yellow Coneflower | 0.125 |
| <i>Rudbeckia fulgida var. sullivantii</i> | Showy Black-Eyed Susan | 0.500 |
| <i>Rudbeckia hirta</i> | Black-Eyed Susan | 0.500 |
| <i>Rudbeckia subtomentosa</i> | Sweet Black-Eyed Susan | 0.063 |
| <i>Symphoricarion leave</i> | Smooth Blue Aster | 0.063 |
| <i>Tradescantia ohioensis</i> | Common Spidewort | 0.063 |
| <i>Verbena stricta</i> | Hoary Vervain | 0.125 |
| <i>Zizia aurea</i> | Golden Alexanders | 0.500 |
| Total Forbs | | 5.640 |
| Total Low Profile Prairie Seed Mix | | 22.765 |



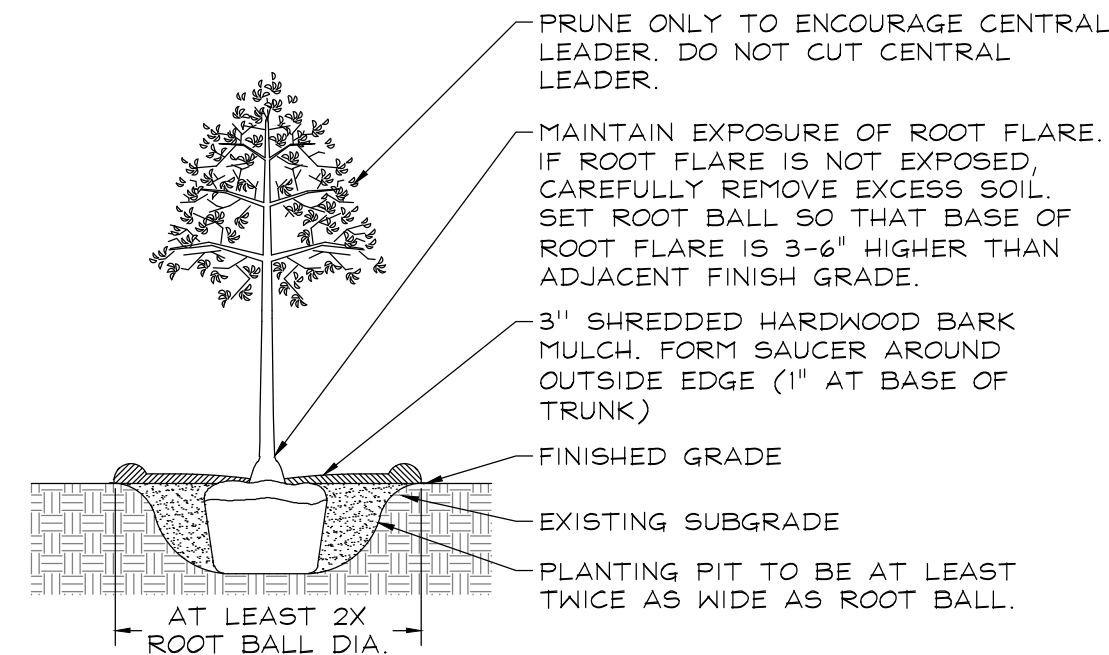
NATURALIZED AREA SIGN DETAIL
SCALE: NTS

PLANTING DETAILS

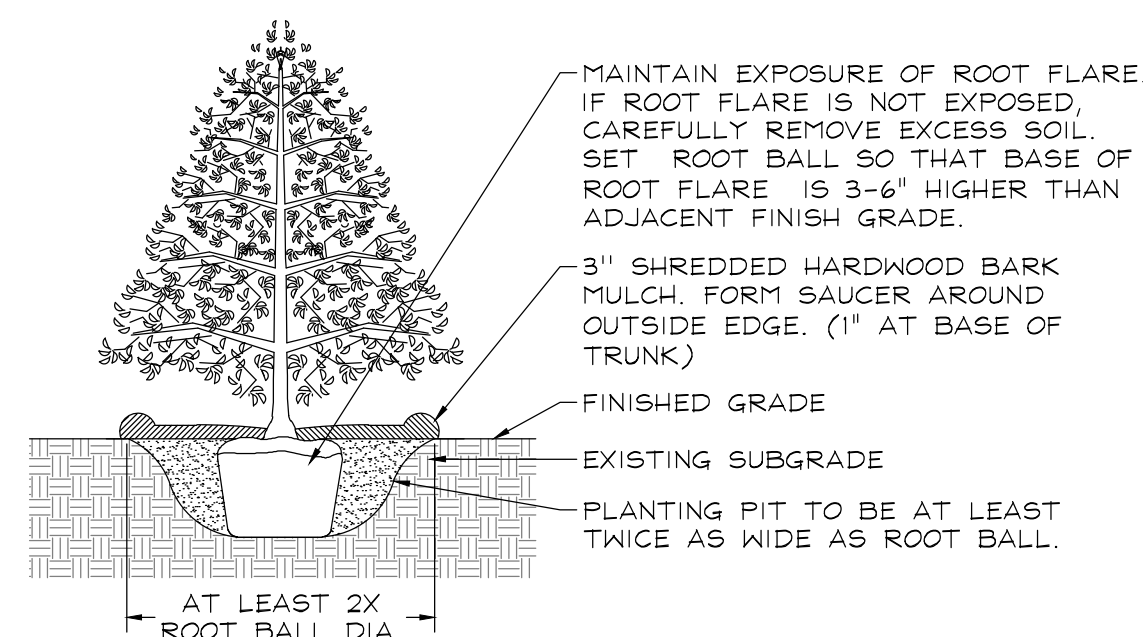


PERENNIALS AND GROUNDCOVERS
NOT TO SCALE

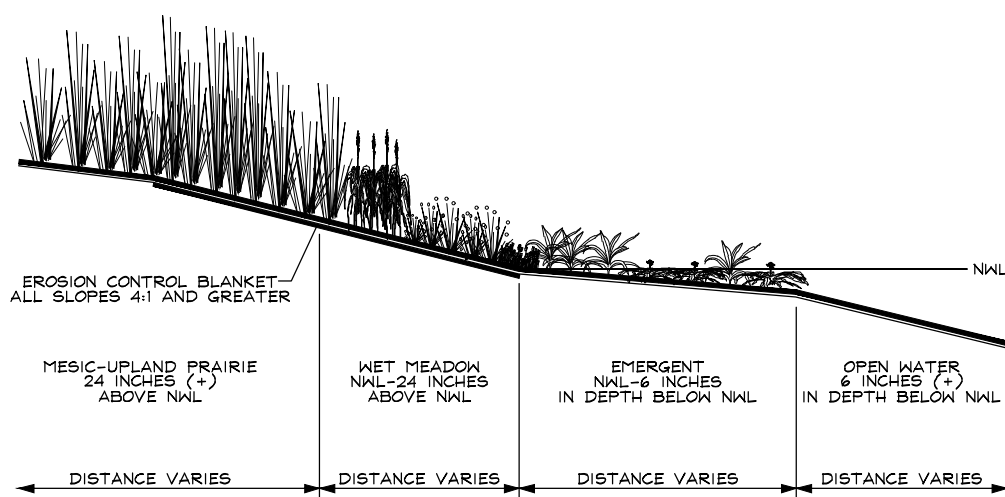
DECIDUOUS AND EVERGREEN SHRUBS
NOT TO SCALE



DECIDUOUS TREES
NOT TO SCALE



EVERGREEN TREES
NOT TO SCALE



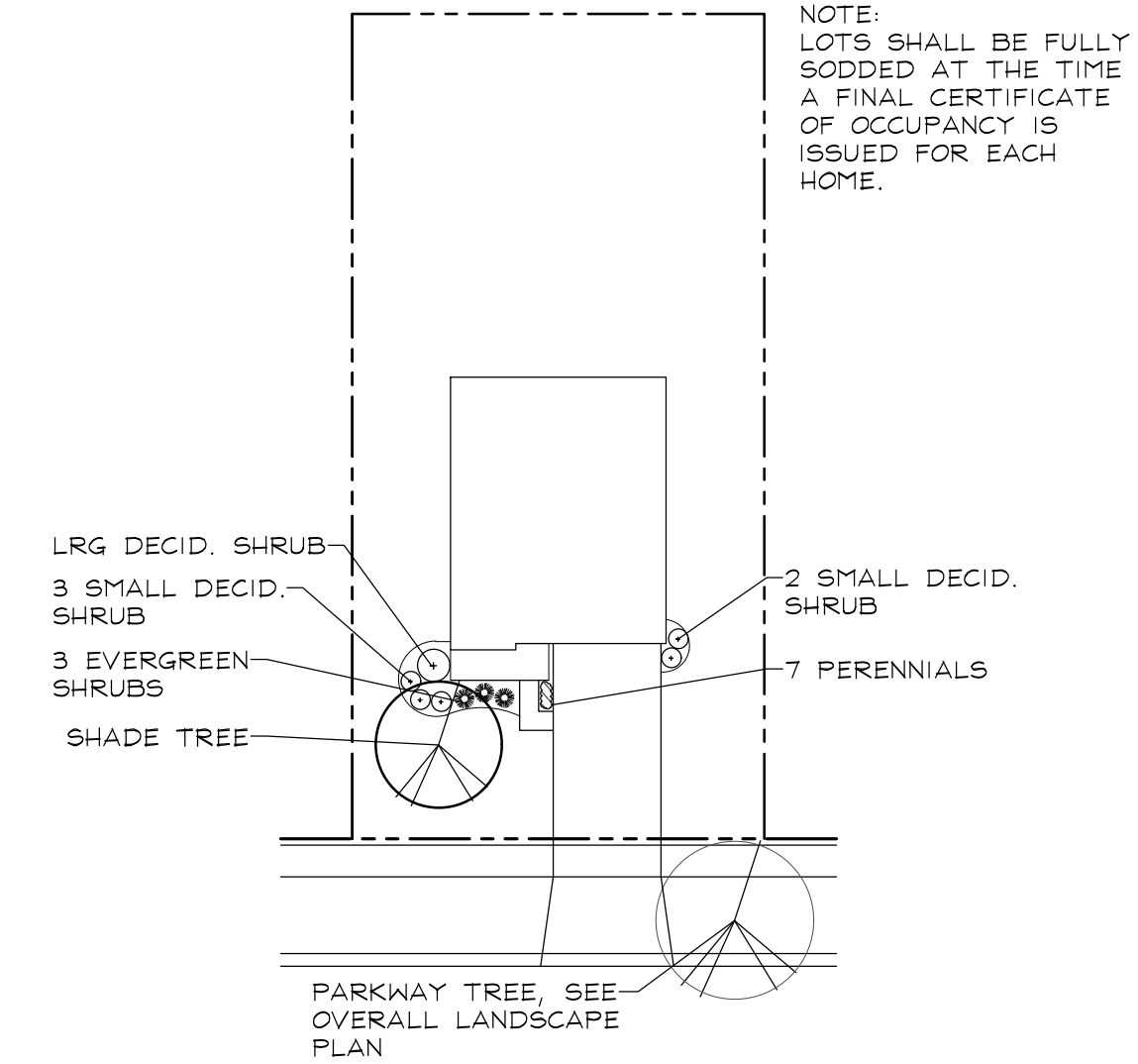
NATURALIZED AREA PLANTING DETAIL

TYPICAL RESIDENCE LANDSCAPE PLANT LIST

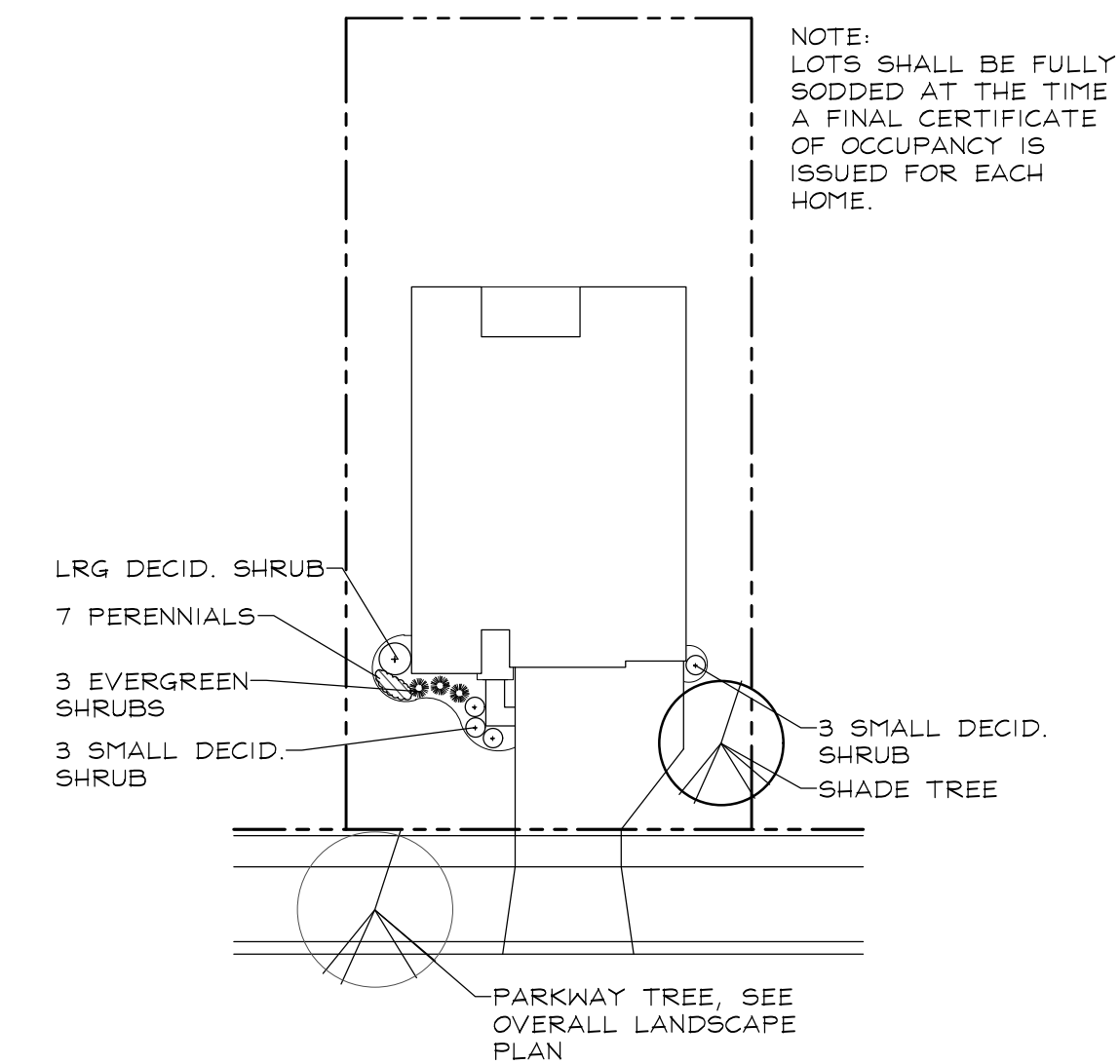
| | |
|-------------------------------------------------------------------------------------|-----------------------------------|
| SHADE TREE: (2 1/2" CALIPER) | |
| AUTUMN BLAZE MAPLE | RED OAK |
| NOT TO SCALE HACKBERRY | TULIP TREE |
| TRIUMPH ELM | REDMOND LINDEN |
| LARGE SHRUBS: (30" TALL / 5 GAL.) | |
| MOHICAN VIBURNUM* | ISANTI REDTWIG DOGWOOD |
| JUDD VIBURNUM* | SUMMER WINE NINEBARK* |
| DWARF KOREAN LILAC | PEKING COTONEASTER |
| SMALL SHRUBS: (18" TALL / 5 GAL.) | |
| ARCTIC FIRE REDTWIG DOGWOOD | ENDLESS SUMMER HYDRANGEA* |
| LITTLE DEVIL NINEBARK* | TOR SPIREA |
| GOLD FLAME SPIREA | KNOCK OUT ROSE |
| DARK HORSE WEIGELA | IROQUOIS BEAUTY BLACK CHOKEBERRY* |
| EVERGREEN SHRUBS: (24" WIDE / 5 GAL.) | |
| DENSE YEW* | KALLAY'S COMPACT JUNIPER |
| SHAMROCK INKBERRY* | NORDIC BLUE JUNIPER |
| PERENNIALS: (18" O.C. / 1 GAL.) | |
| SUMMER BEAUTY ALLIUM | BROOKSIDE GERANIUM* |
| HAPPY RETURN DAYLILY | FOREVER PINK PHLOX |
| LITTLE WINECUP DAYLILY | MAY NIGHT SALVIA |
| ORNAMENTAL GRASSES: (24" O.C. / 1 GAL.) | |
| PRAIRIE DROPS EED | SHENANDOAH SWITCHGRASS |
| FEATHER REED GRASS | AUTUMN MOOR GRASS |
| NOTES: | |
| THIS SYMBOL "*" DENOTES SHADE TOLERANT PLANTS FOR NORTH FACING FOUNDATION PLANTINGS | |

TYPICAL RESIDENCE LANDSCAPE PACKAGES

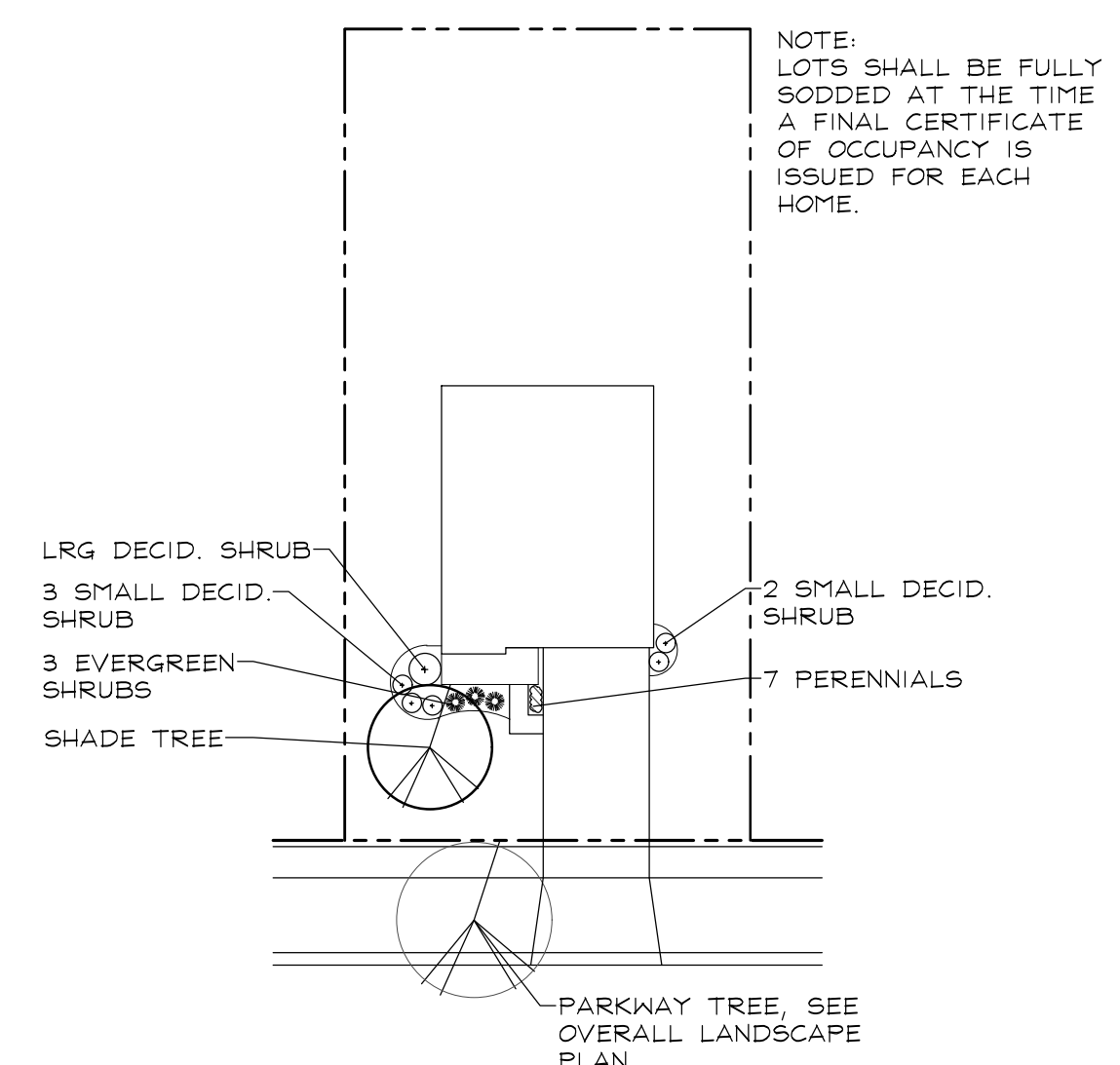
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NOTE: LOTS SHALL BE FULLY SODDED AT THE TIME A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED FOR EACH HOME.



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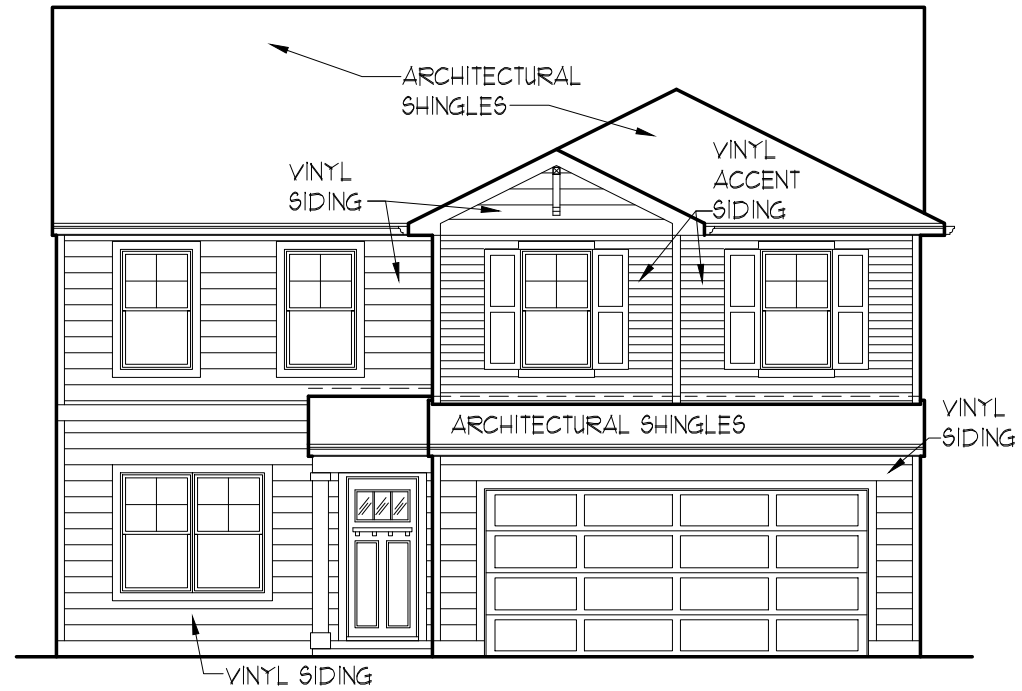
HUNTLEY, ILLINOIS

LANDSCAPE DETAILS

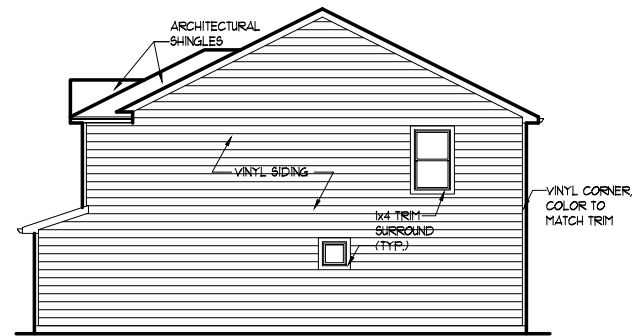
REVISIONS

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| DRAWN | CLE |
| CHECKED | MGM |
| SHEET NO. | |

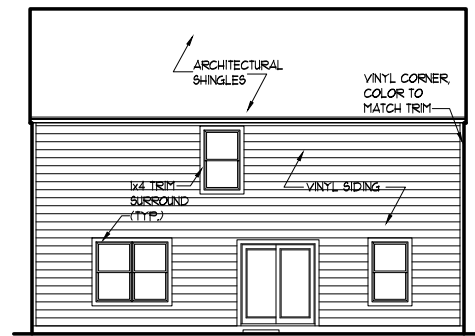




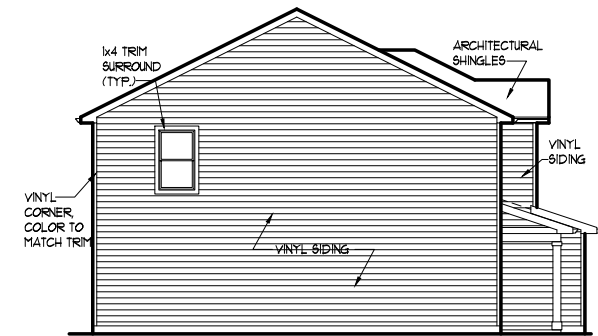
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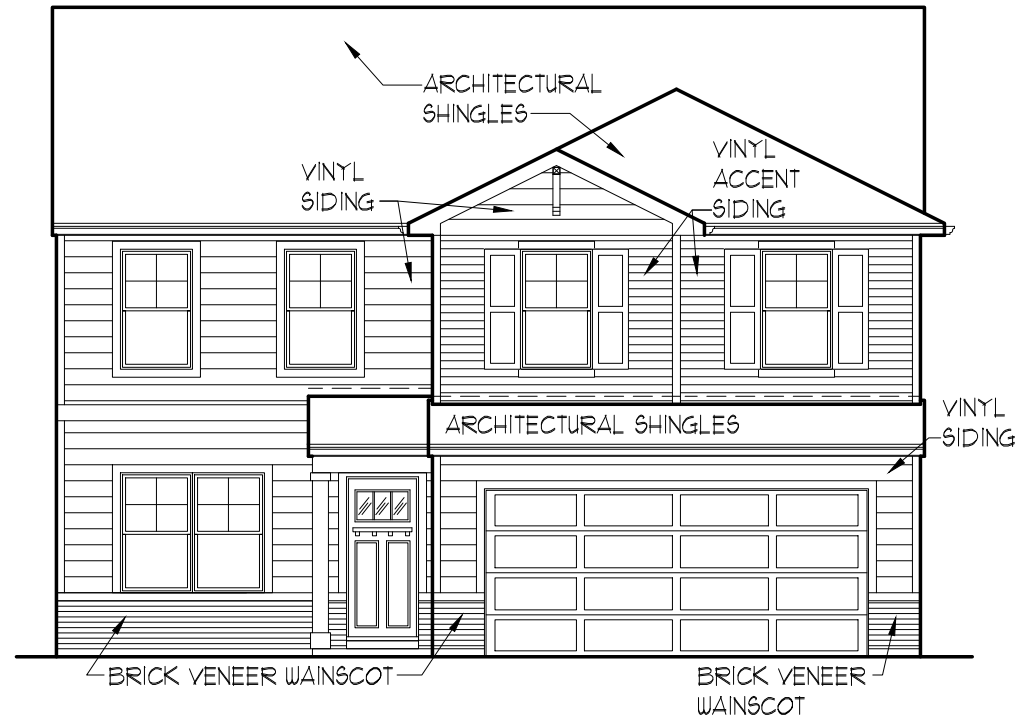
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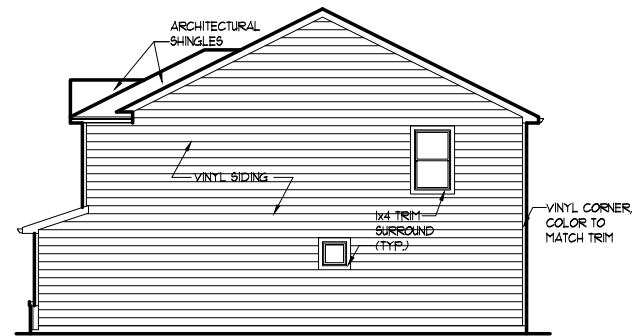
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x426 Pendleton

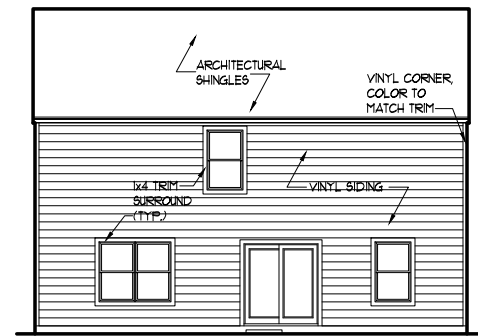
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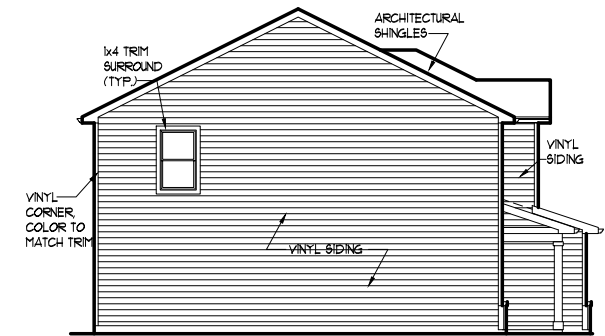
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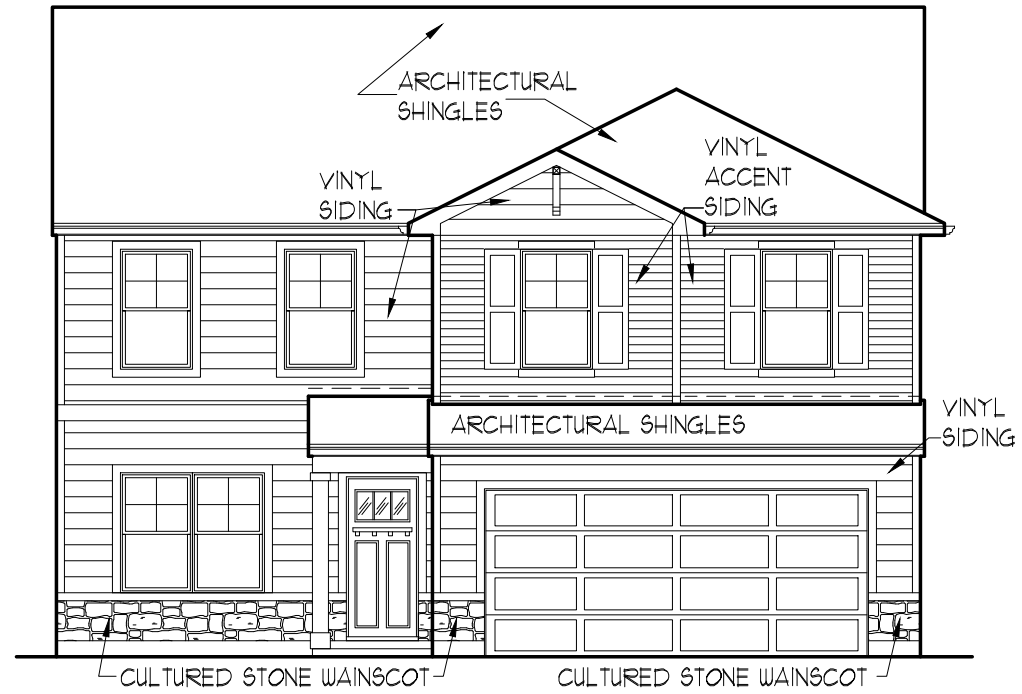
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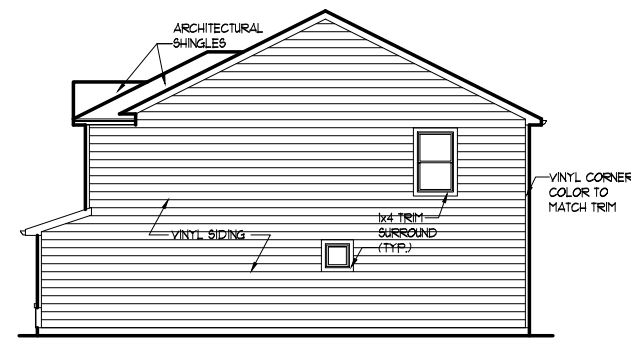
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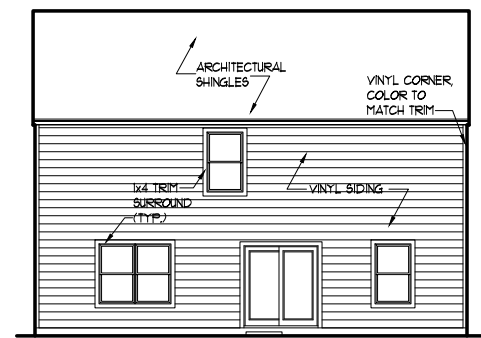
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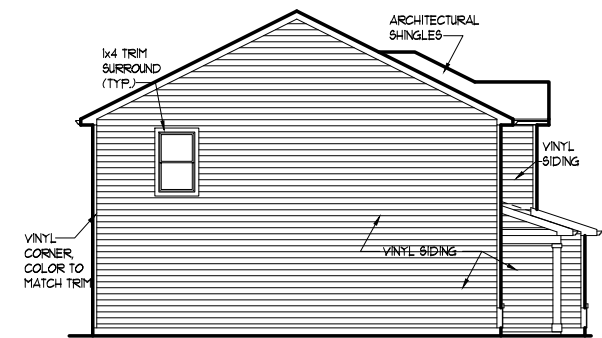
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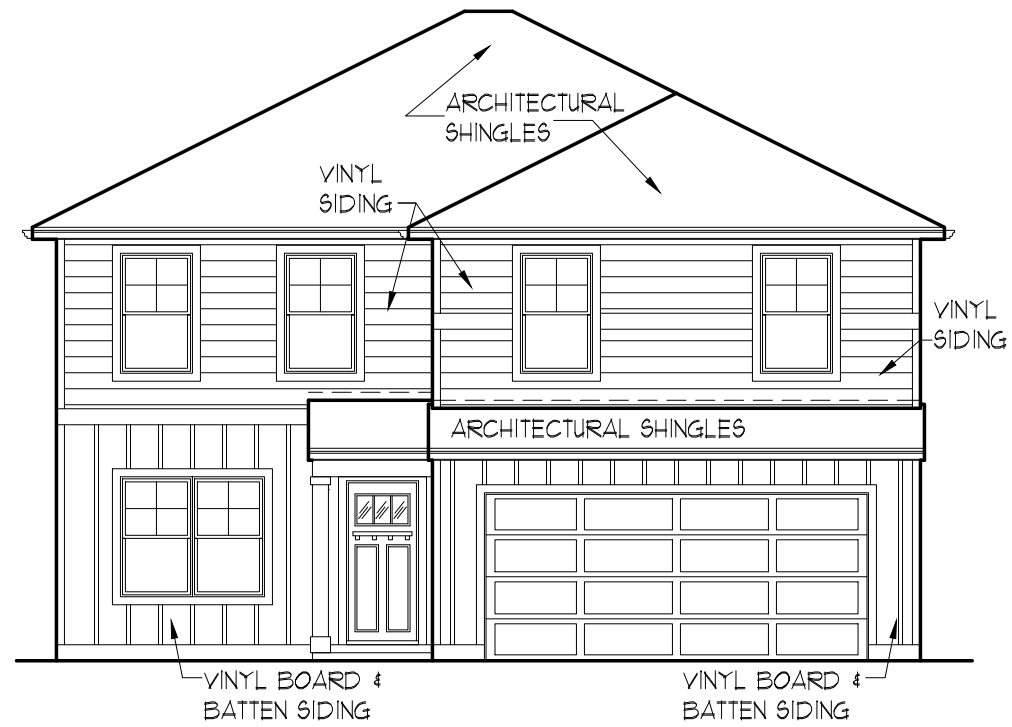


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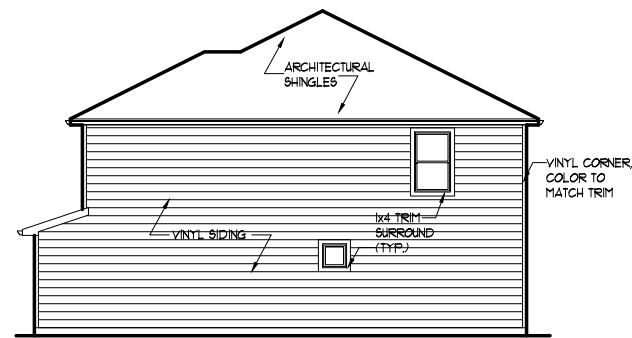


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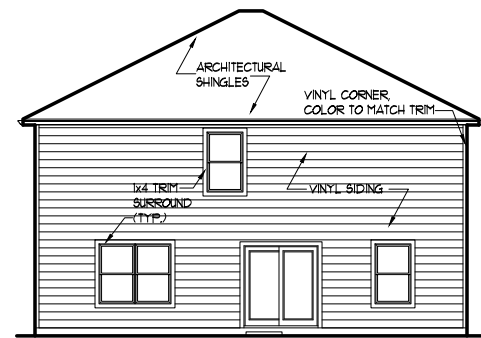
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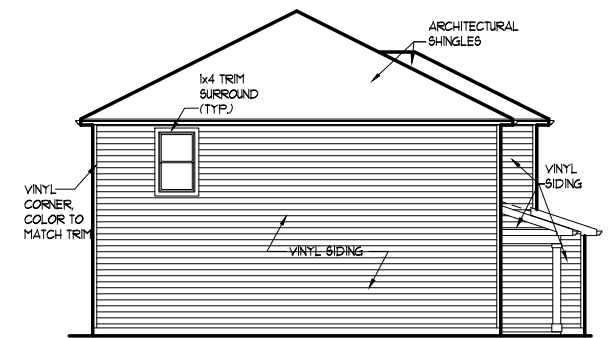
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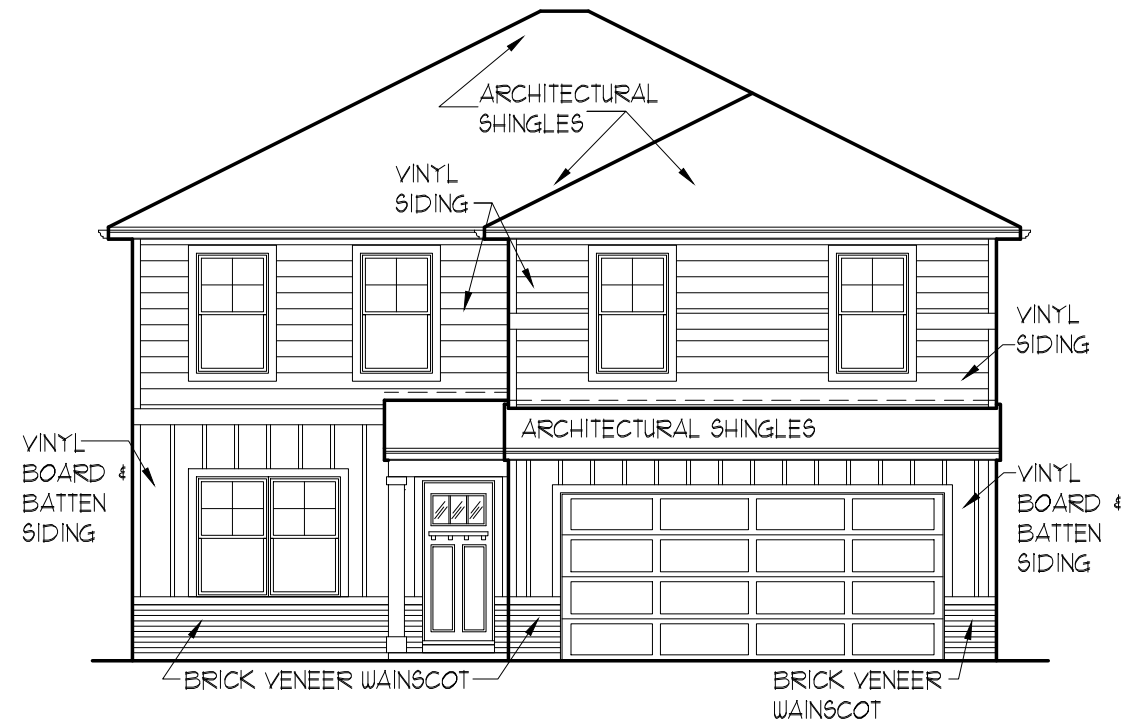
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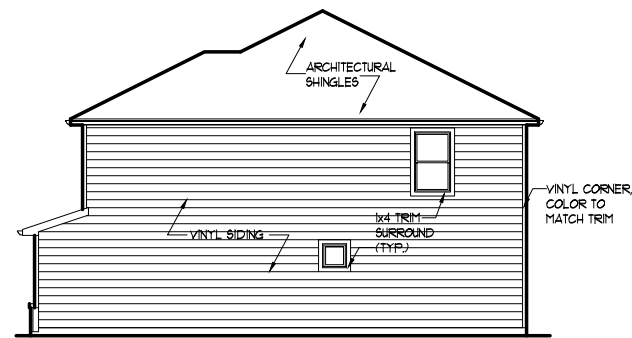
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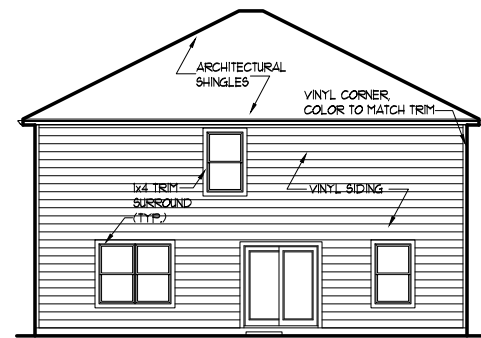
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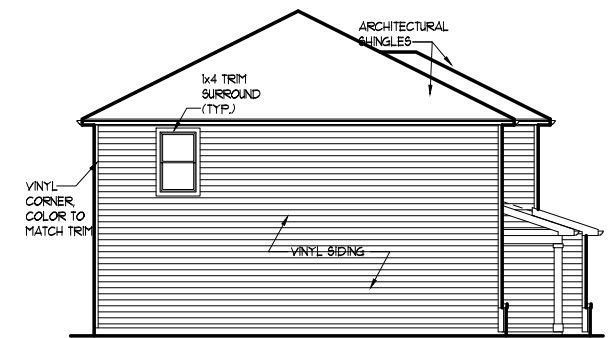
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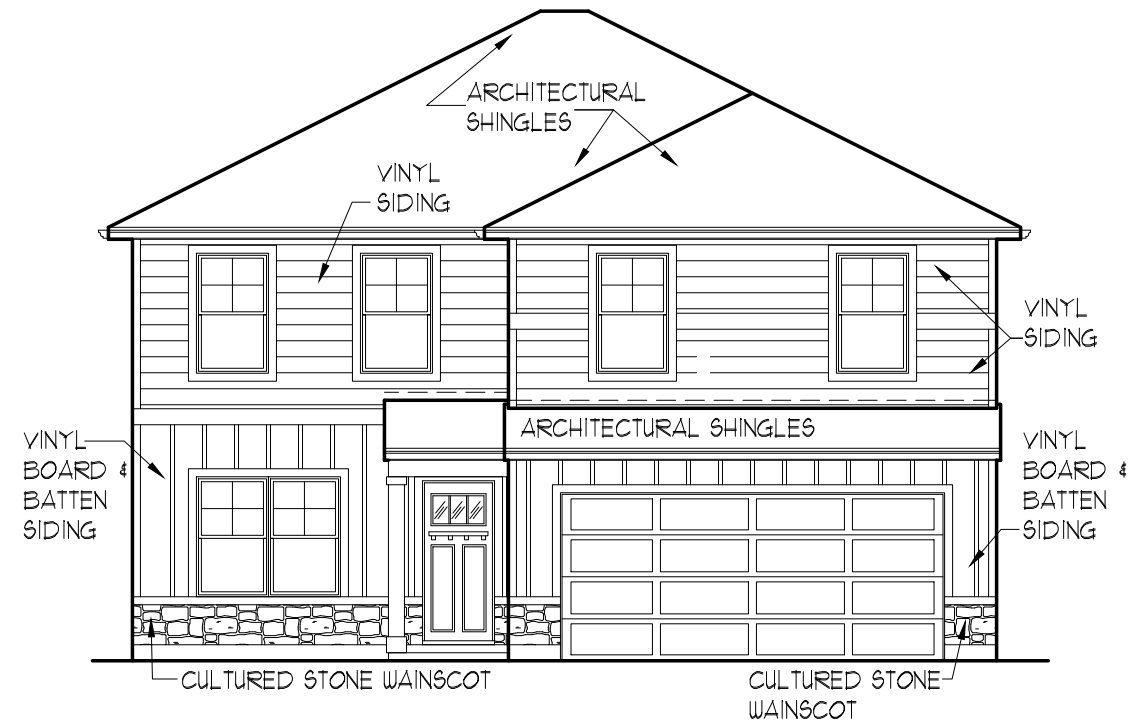
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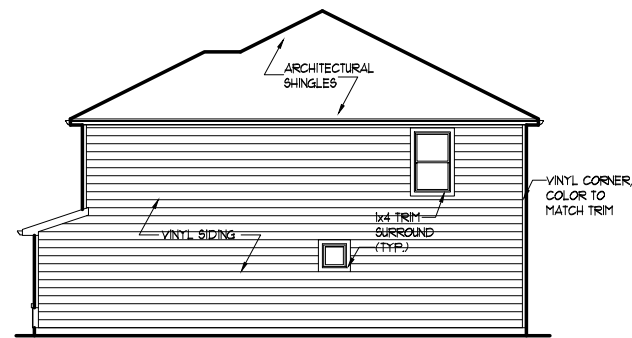
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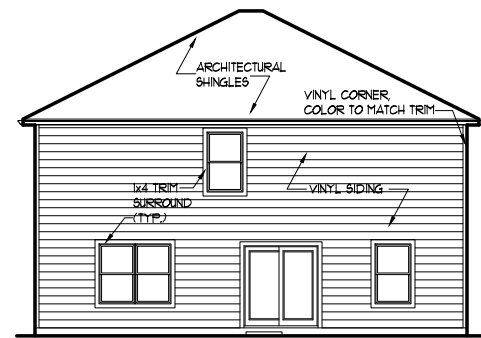
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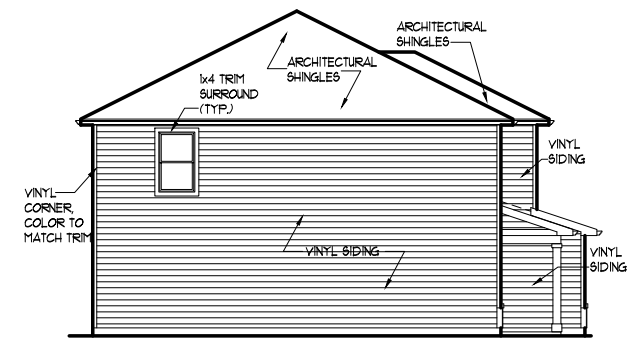
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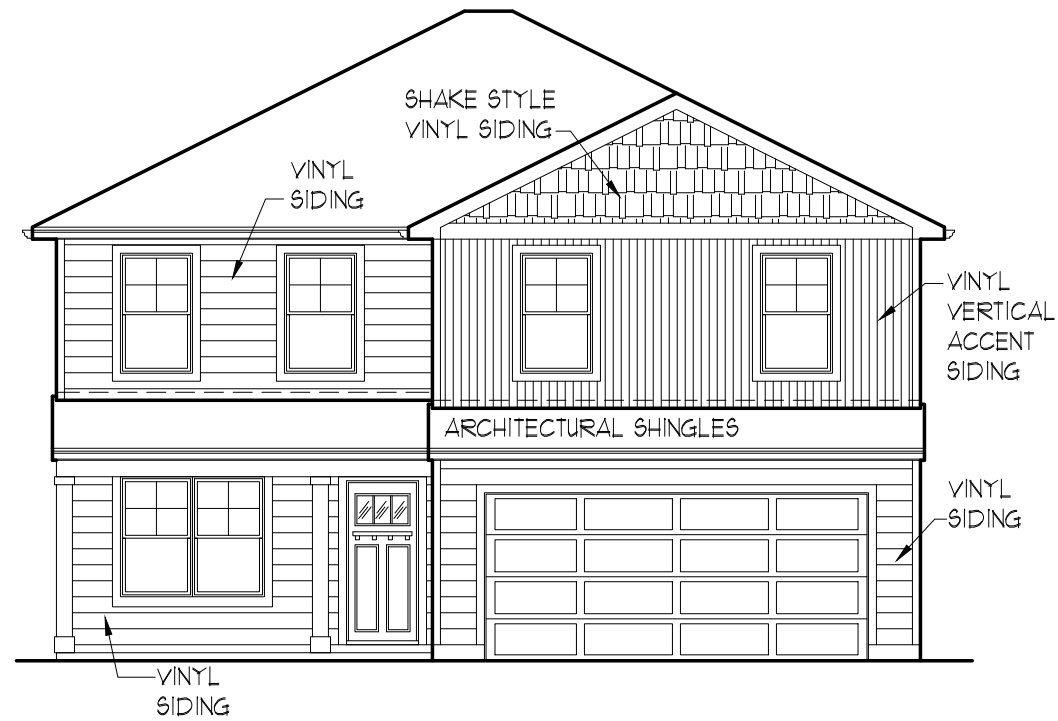
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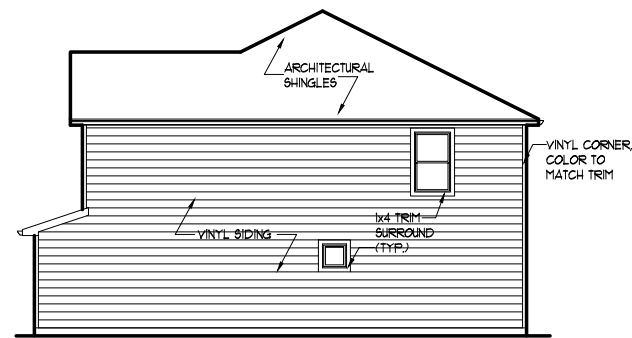
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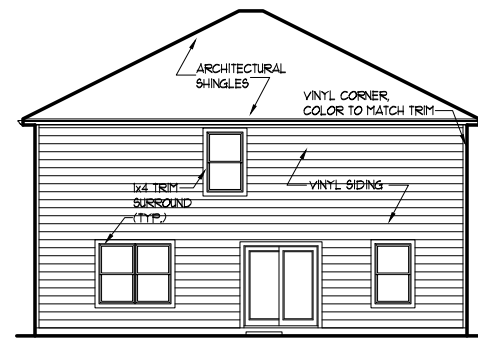
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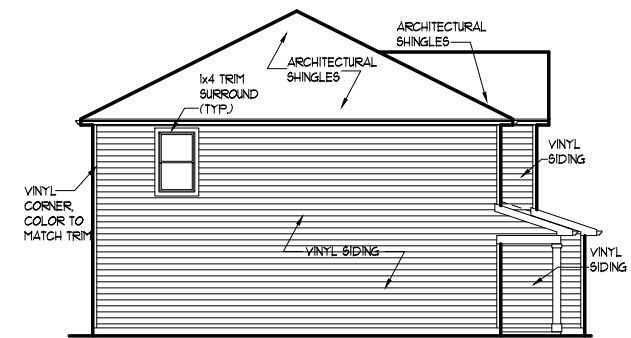
ELEVATION "D1"



TYPICAL RIGHT ELEVATION



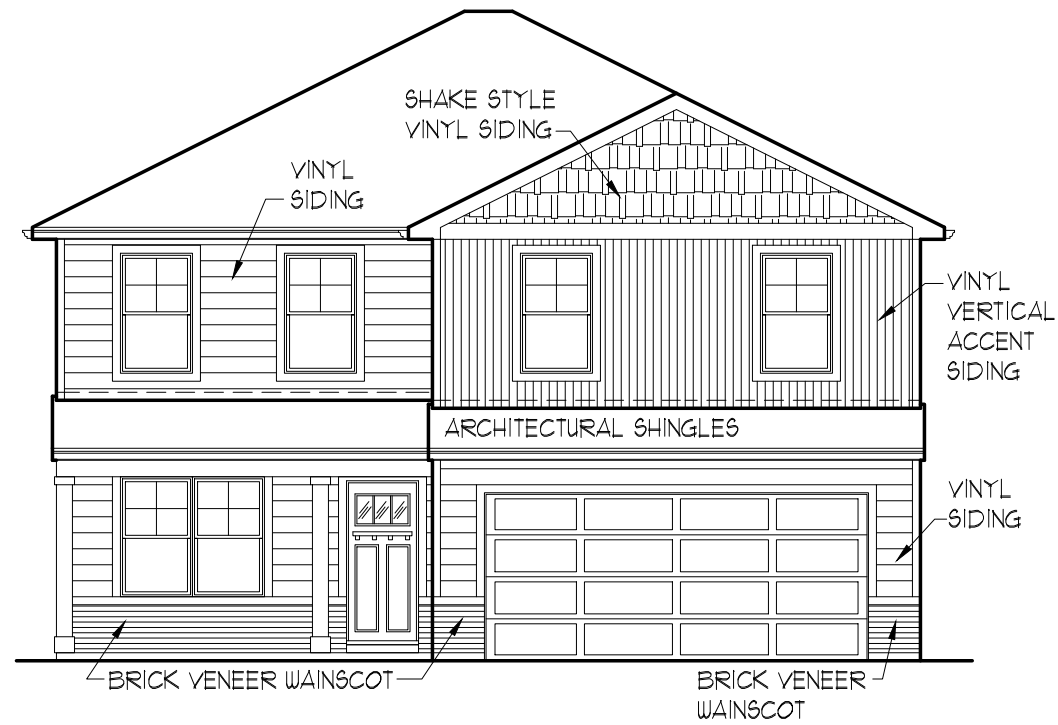
TYPICAL REAR ELEVATION



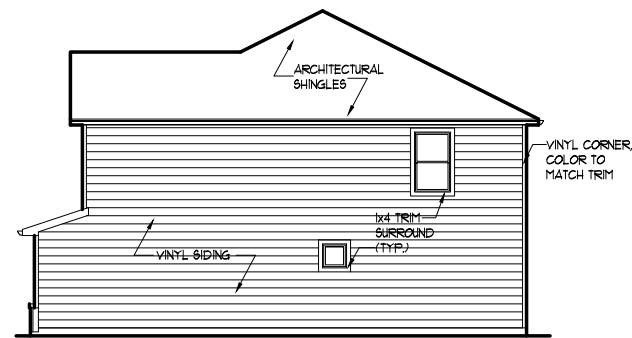
TYPICAL LEFT ELEVATION

x426 Pendleton

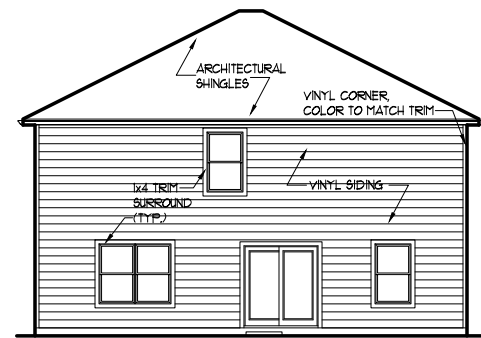
X-SERIES



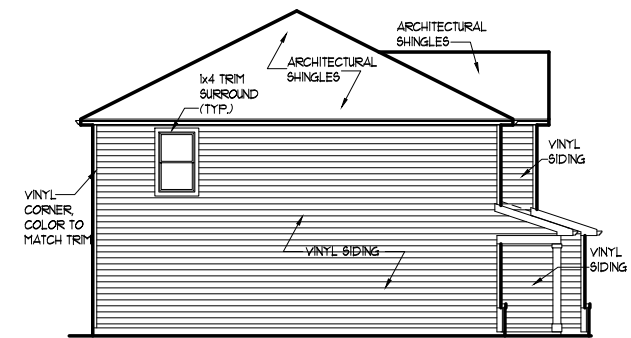
ELEVATION "D2"



TYPICAL RIGHT ELEVATION



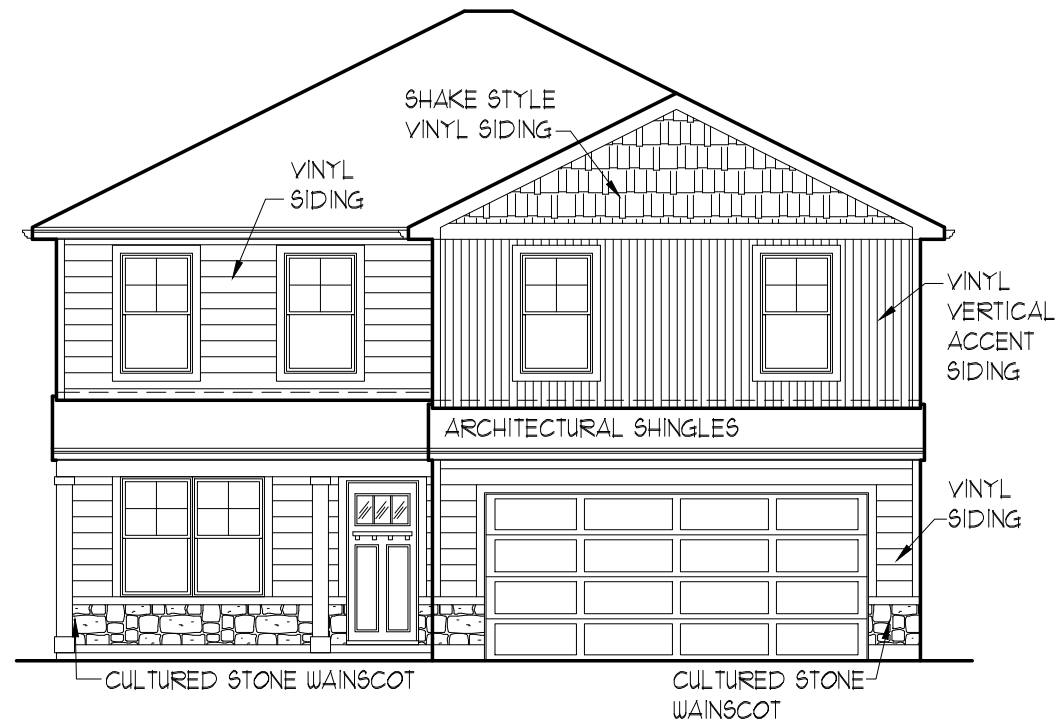
TYPICAL REAR ELEVATION



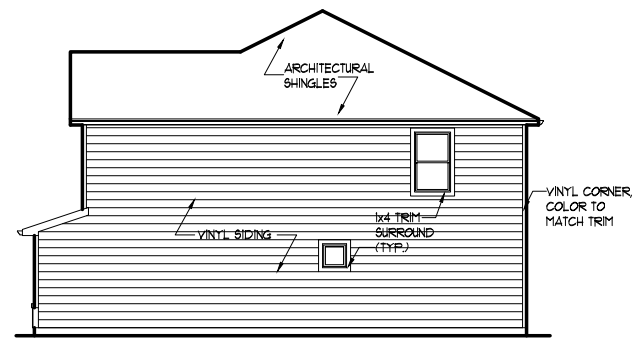
TYPICAL LEFT ELEVATION

x426 Pendleton

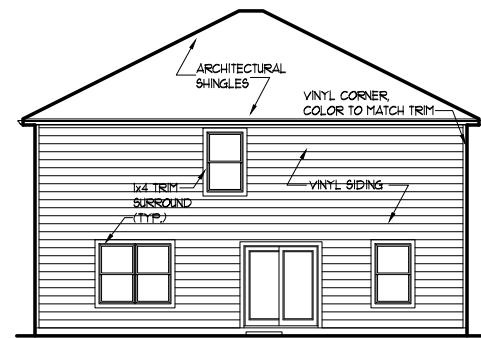
X-SERIES



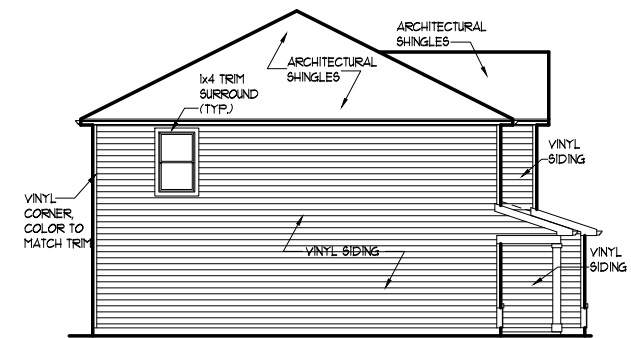
ELEVATION "D3"



TYPICAL RIGHT ELEVATION



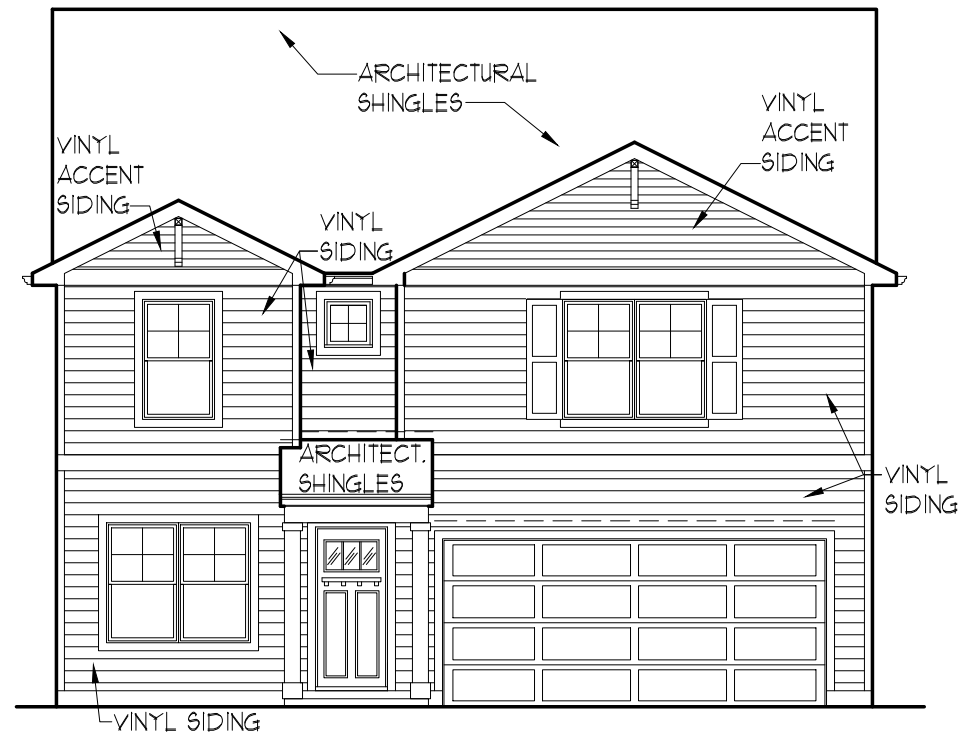
TYPICAL REAR ELEVATION



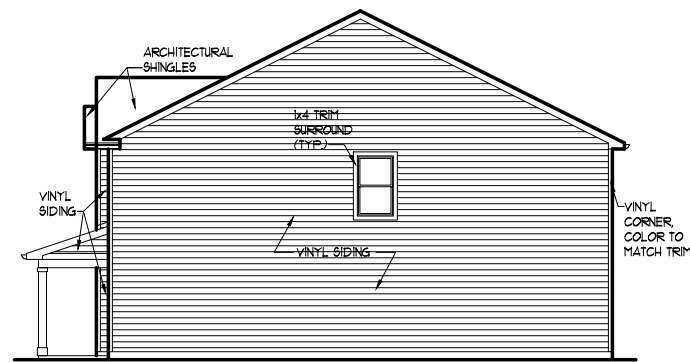
TYPICAL LEFT ELEVATION

x426 Pendleton

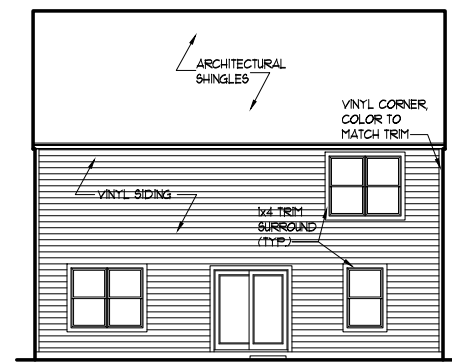
X-SERIES



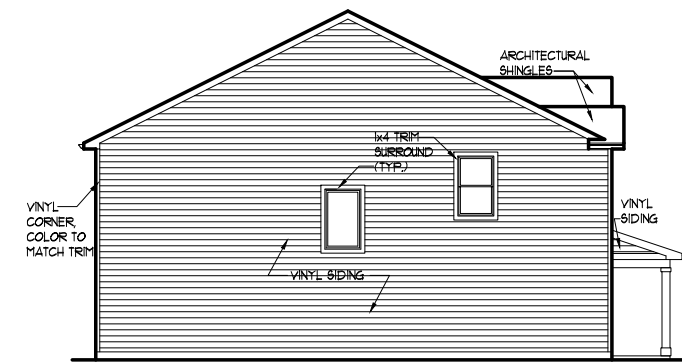
ELEVATION "A1"



TYPICAL RIGHT ELEVATION

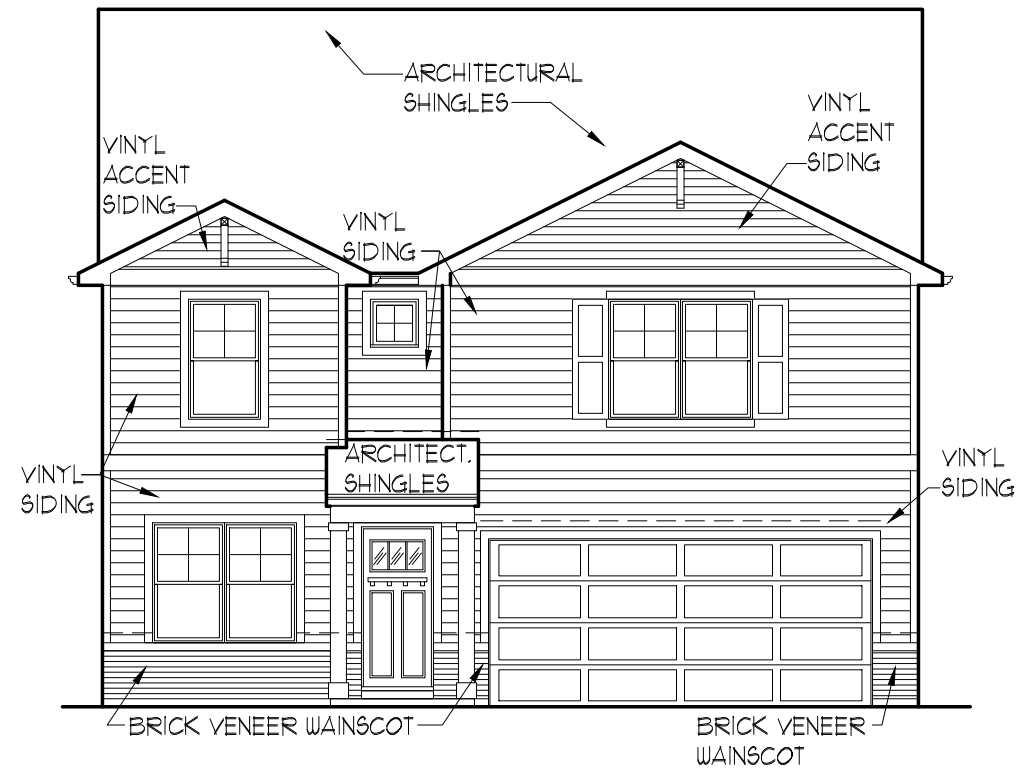


TYPICAL REAR ELEVATION

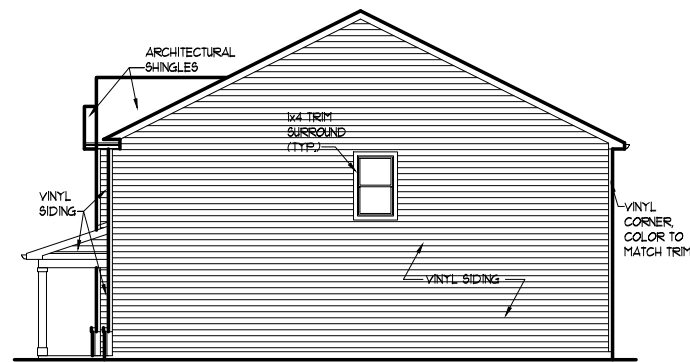


TYPICAL LEFT ELEVATION

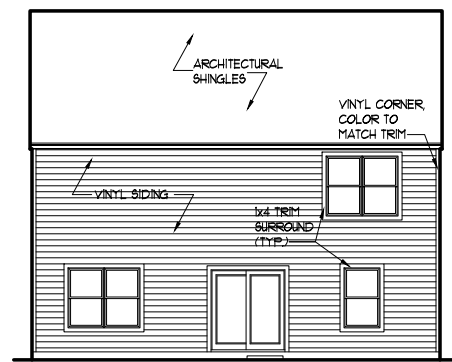
x427 Holcombe
X-SERIES



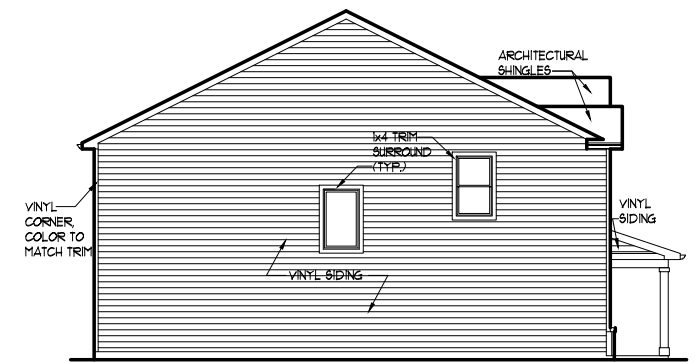
ELEVATION "A2"



TYPICAL RIGHT ELEVATION

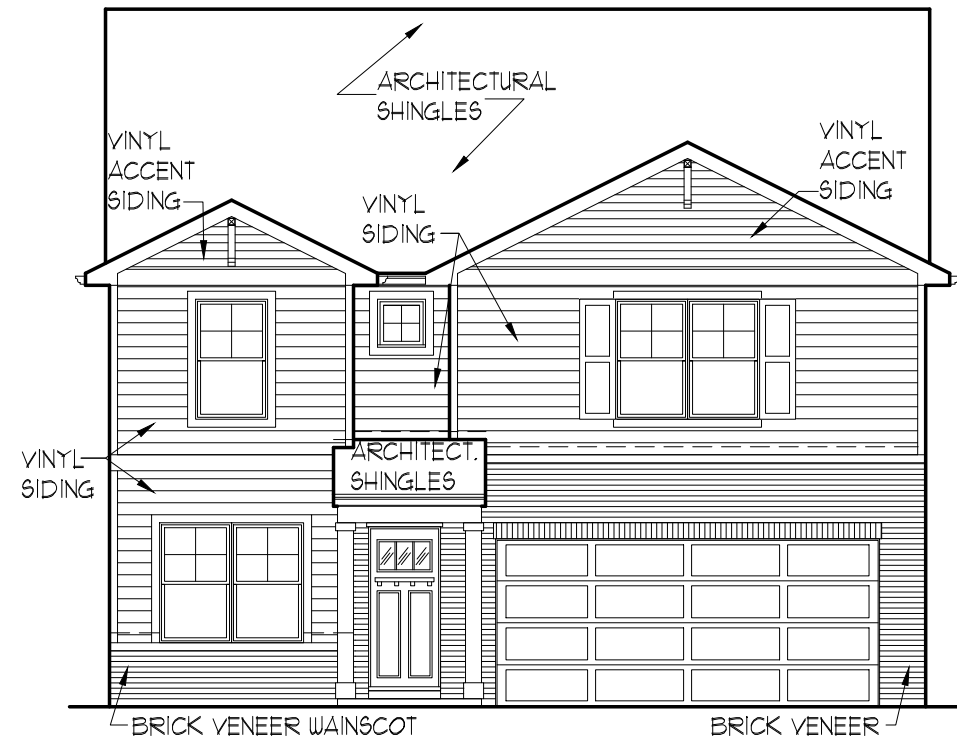


TYPICAL REAR ELEVATION

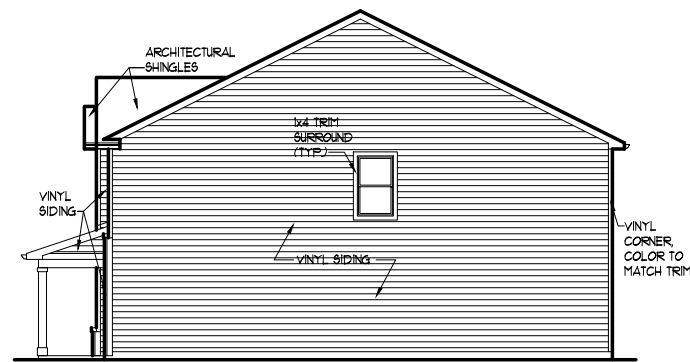


TYPICAL LEFT ELEVATION

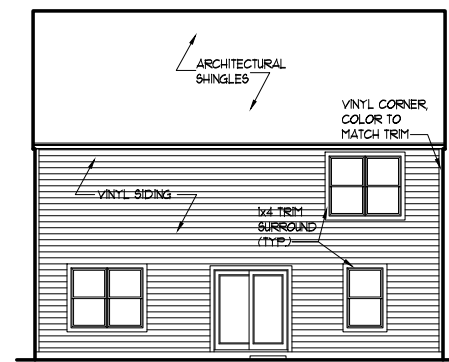
x427 Holcombe
X-SERIES



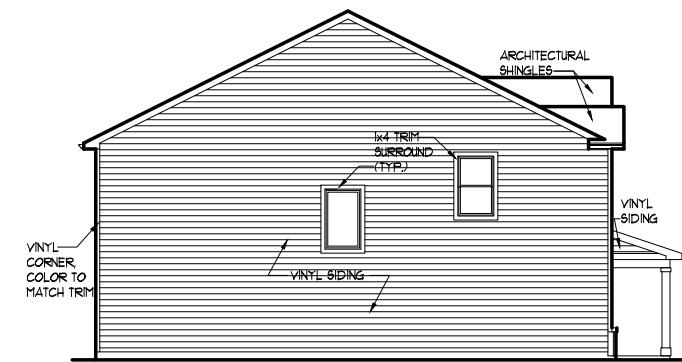
ELEVATION "A4"



TYPICAL RIGHT ELEVATION

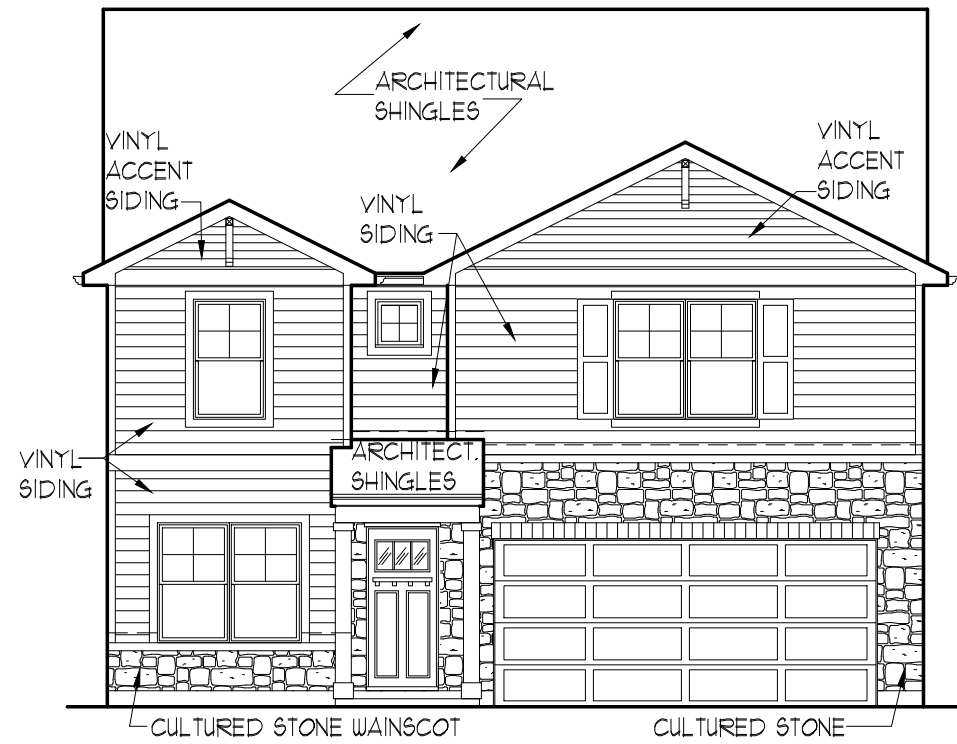


TYPICAL REAR ELEVATION

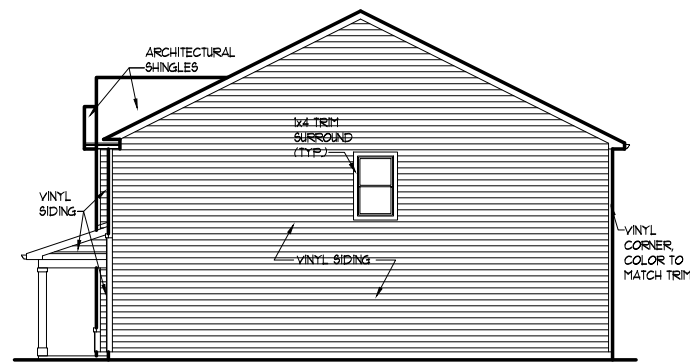


TYPICAL LEFT ELEVATION

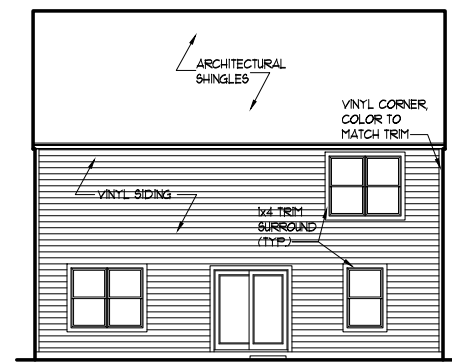
x427 Holcombe
X-SERIES



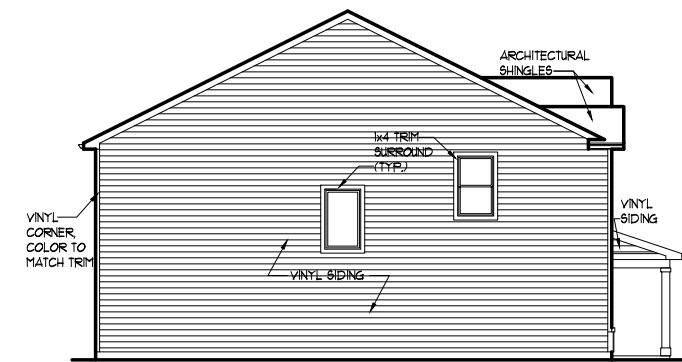
ELEVATION "A5"



TYPICAL RIGHT ELEVATION



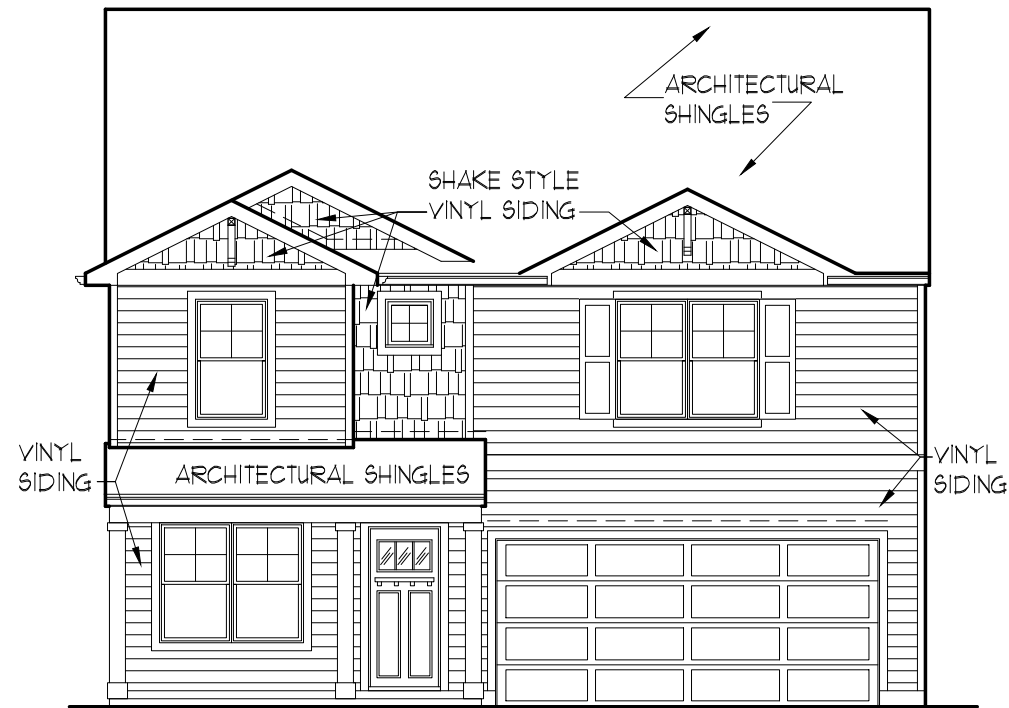
TYPICAL REAR ELEVATION



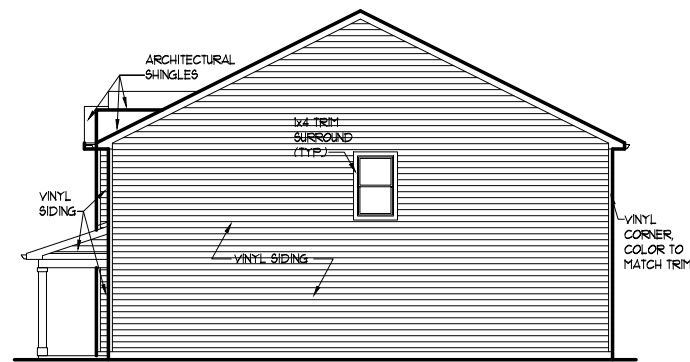
TYPICAL LEFT ELEVATION

x427 Holcombe

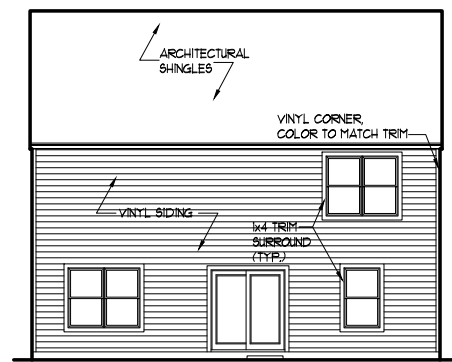
X-SERIES



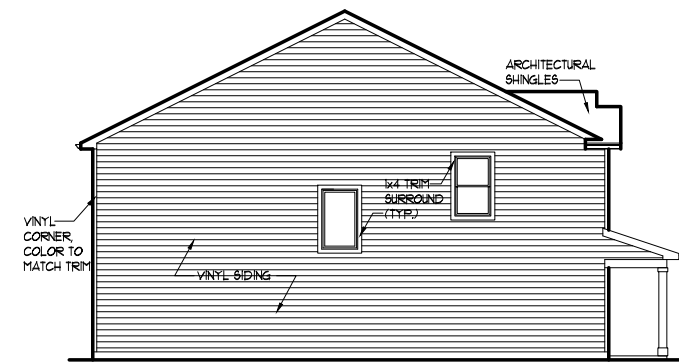
ELEVATION "B1"



TYPICAL RIGHT ELEVATION



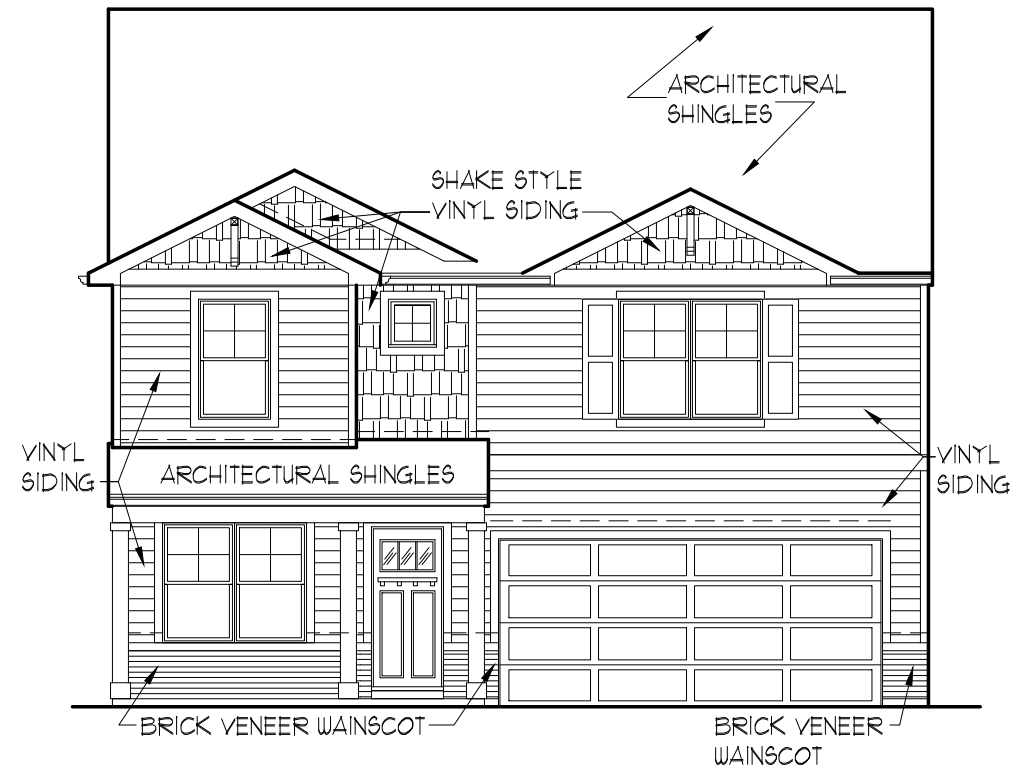
TYPICAL REAR ELEVATION



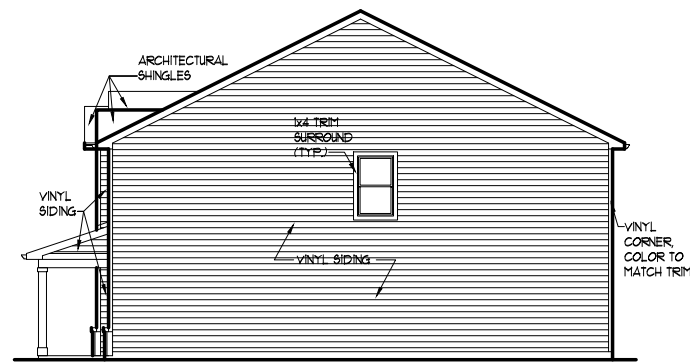
TYPICAL LEFT ELEVATION

x427 Holcombe

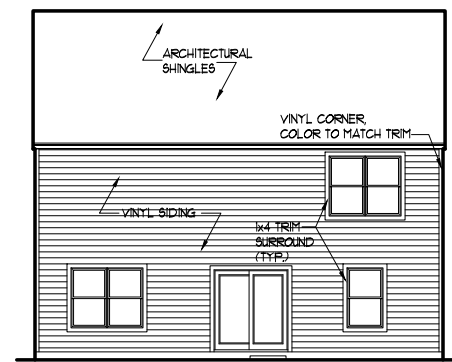
X-SERIES



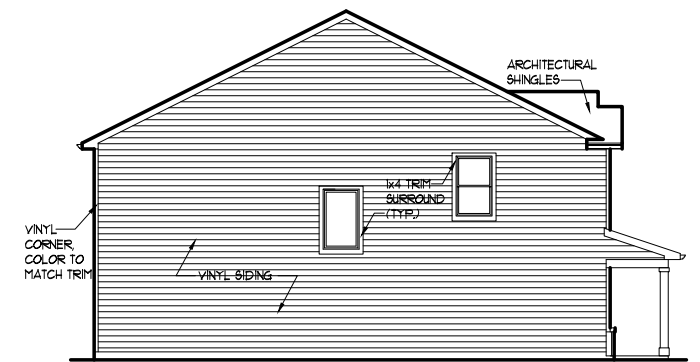
ELEVATION "B2"



TYPICAL RIGHT ELEVATION

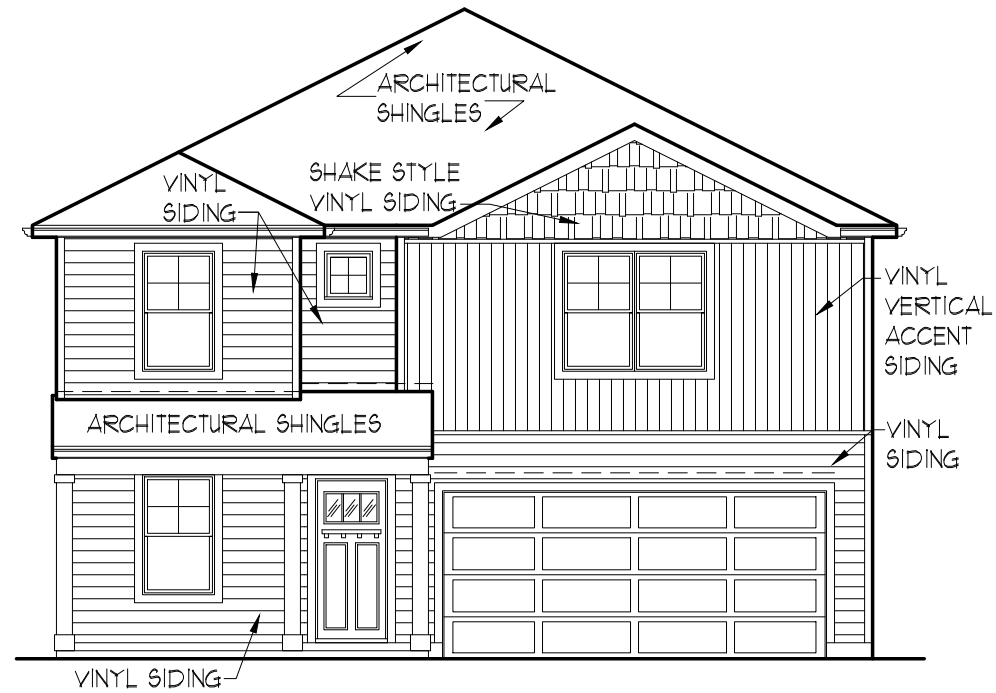


TYPICAL REAR ELEVATION

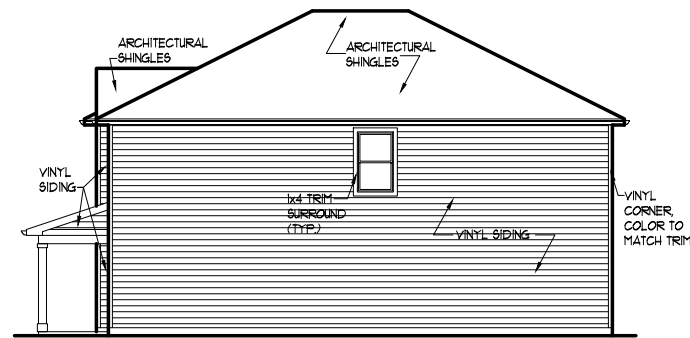


TYPICAL LEFT ELEVATION

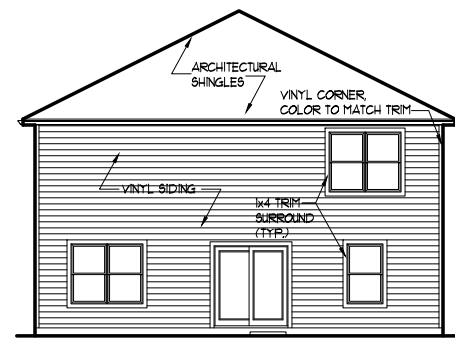
x427 Holcombe
X-SERIES



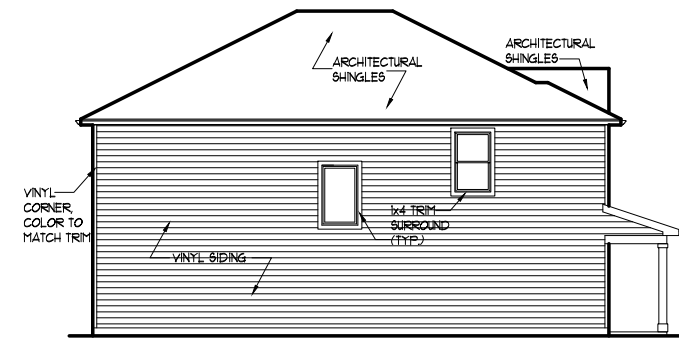
ELEVATION "D1"



TYPICAL RIGHT ELEVATION



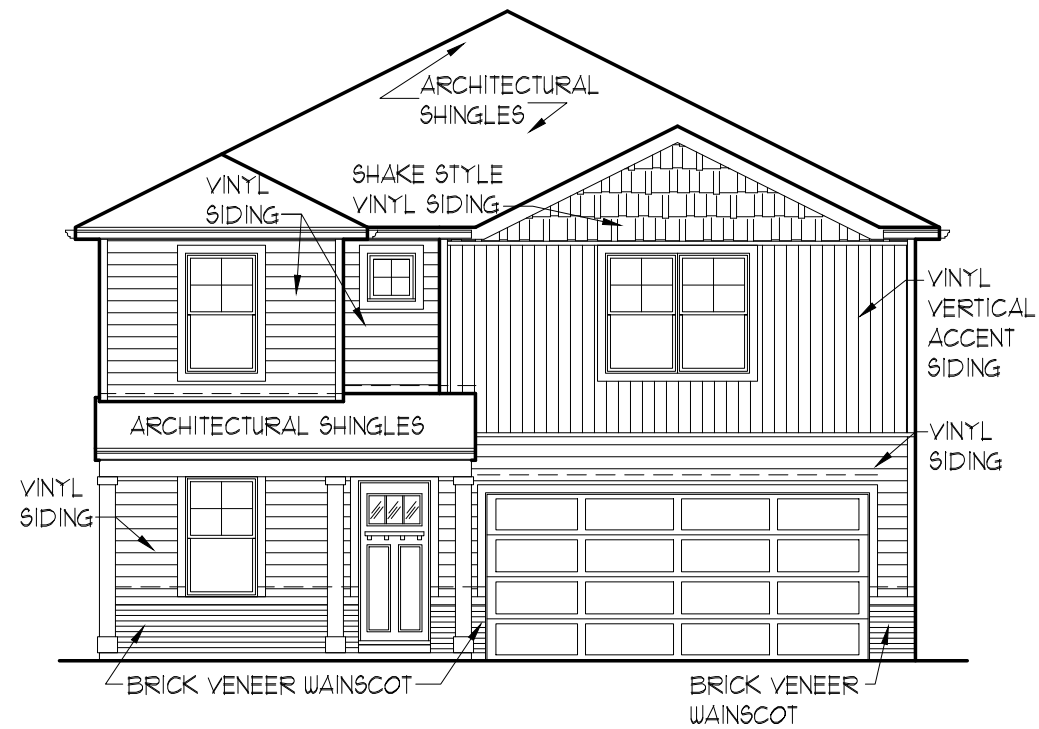
TYPICAL REAR ELEVATION



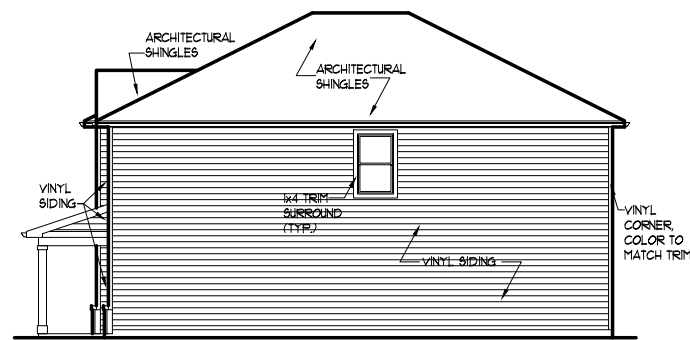
TYPICAL LEFT ELEVATION

x427 Holcombe

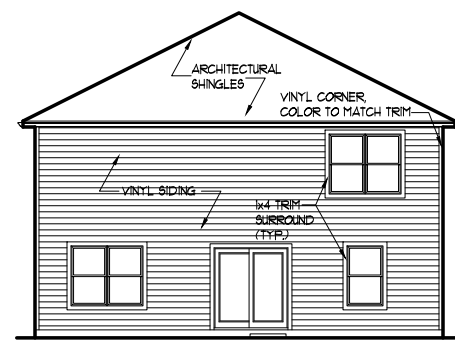
X-SERIES



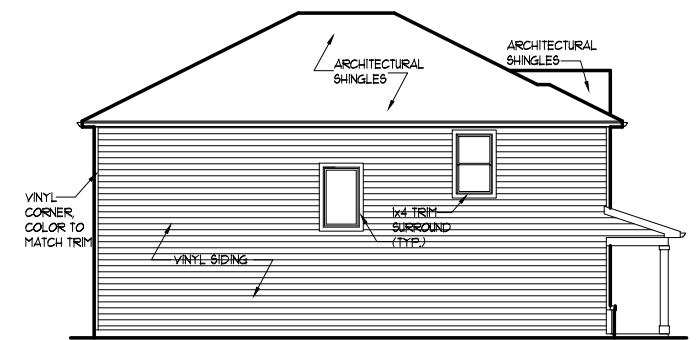
ELEVATION "D2"



TYPICAL RIGHT ELEVATION



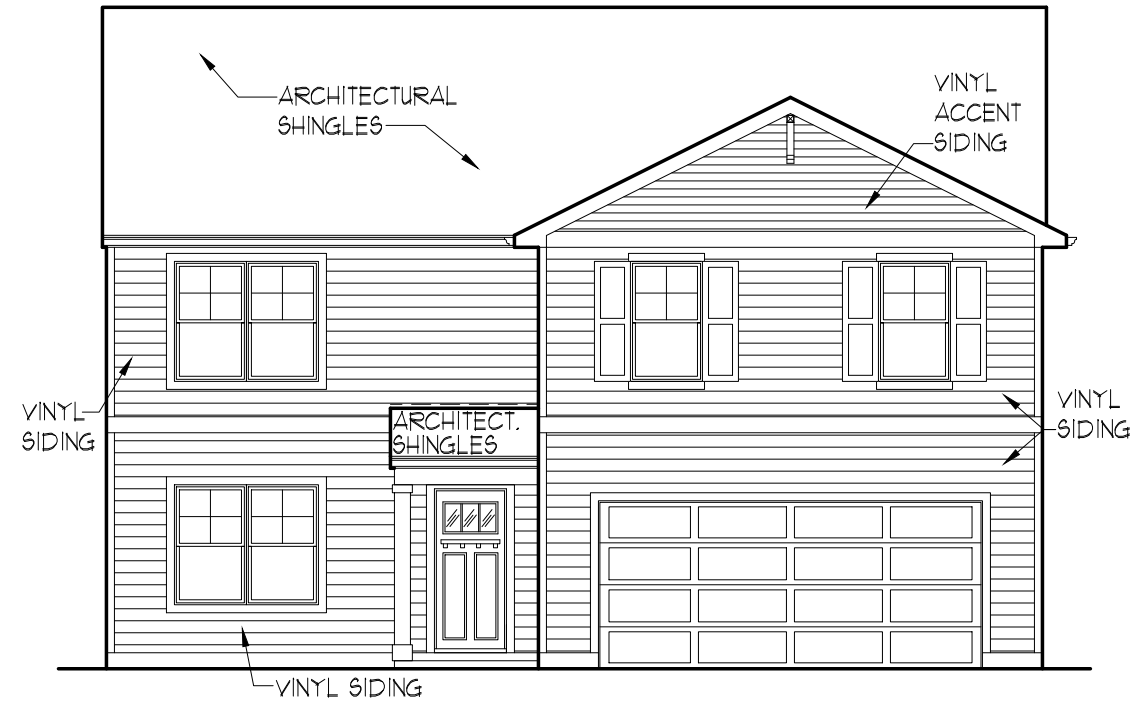
TYPICAL REAR ELEVATION



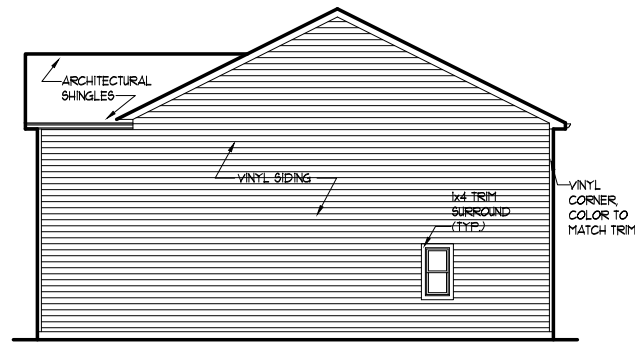
TYPICAL LEFT ELEVATION

x427 Holcombe

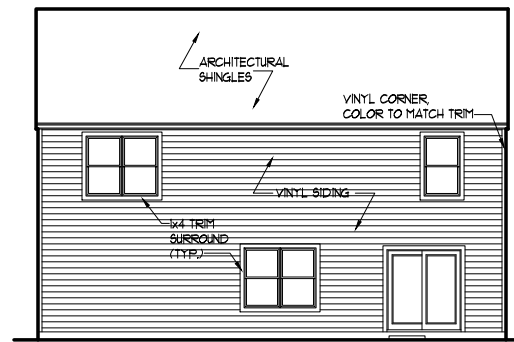
X-SERIES



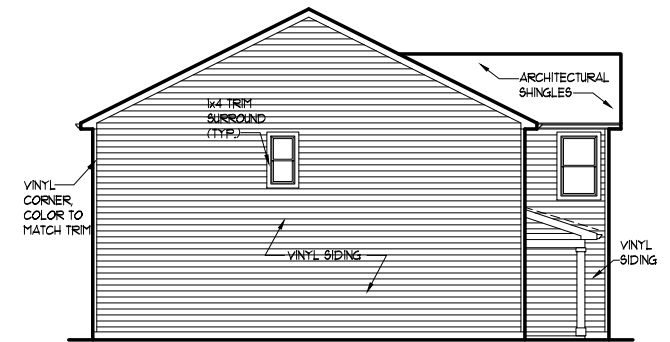
ELEVATION "A1"



TYPICAL RIGHT ELEVATION

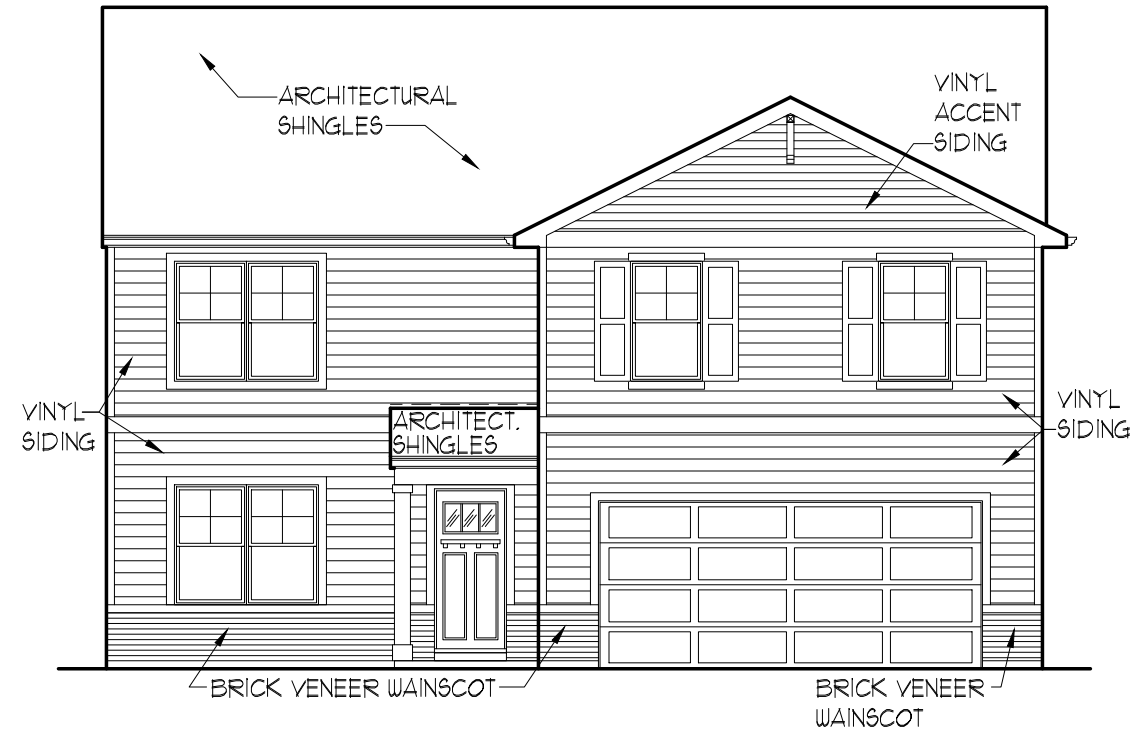


TYPICAL REAR ELEVATION

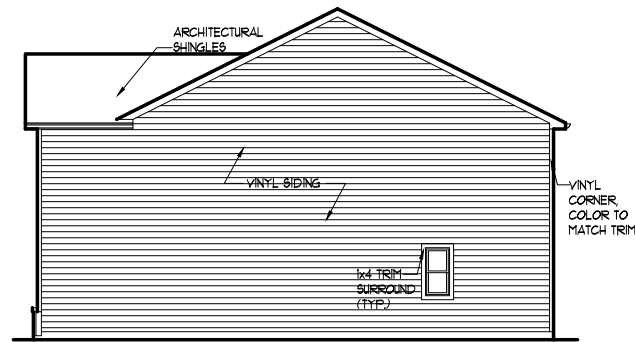


TYPICAL LEFT ELEVATION

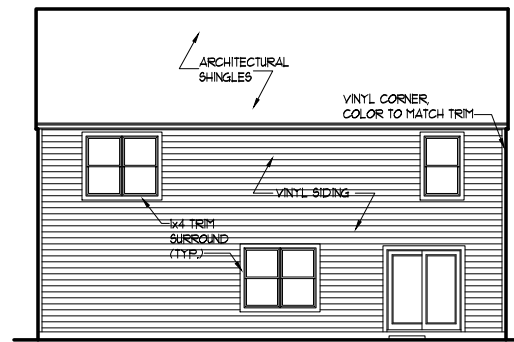
x429 Henley
X-SERIES



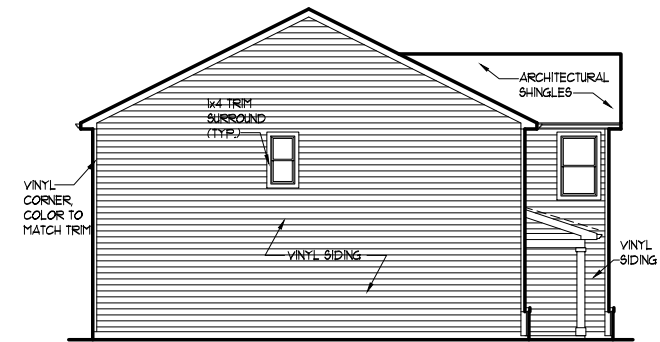
ELEVATION "A2"



TYPICAL RIGHT ELEVATION

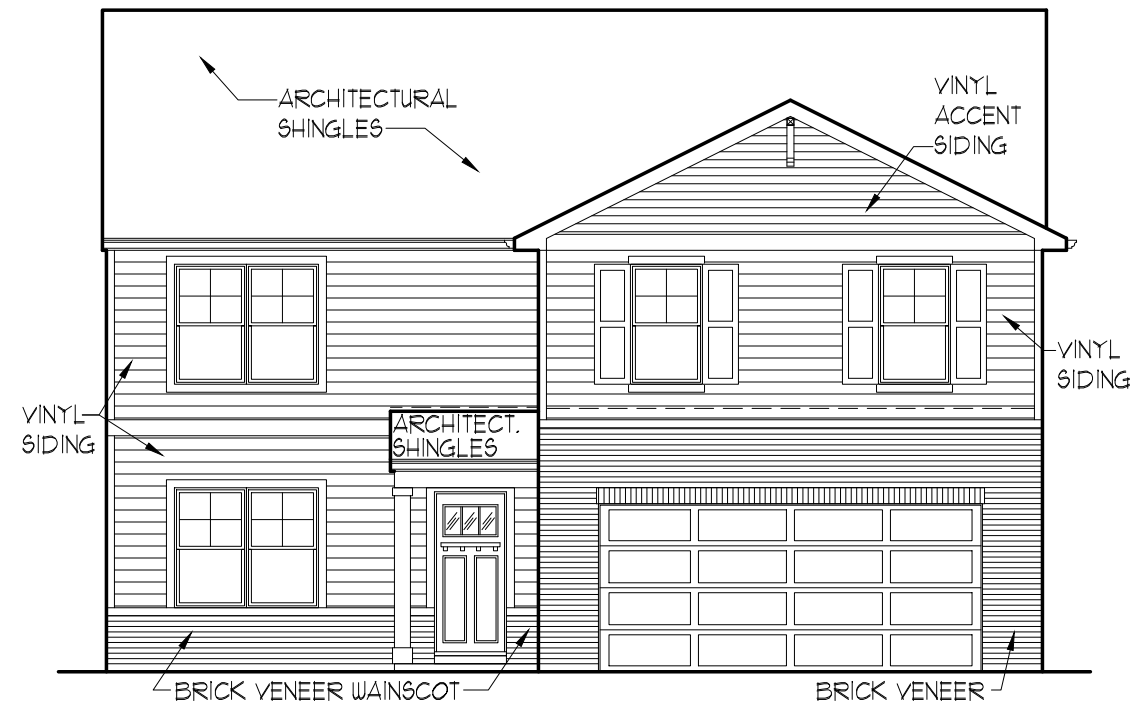


TYPICAL REAR ELEVATION

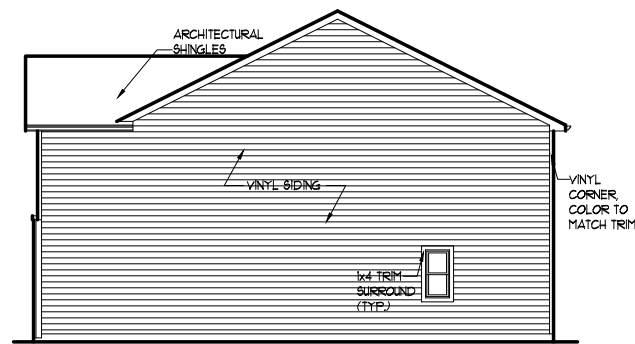


TYPICAL LEFT ELEVATION

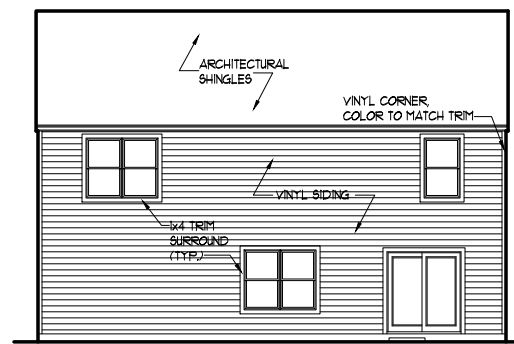
x429 Henley
X-SERIES



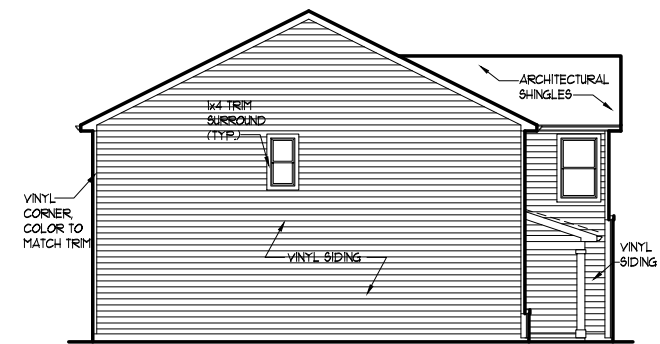
ELEVATION "A4"



TYPICAL RIGHT ELEVATION

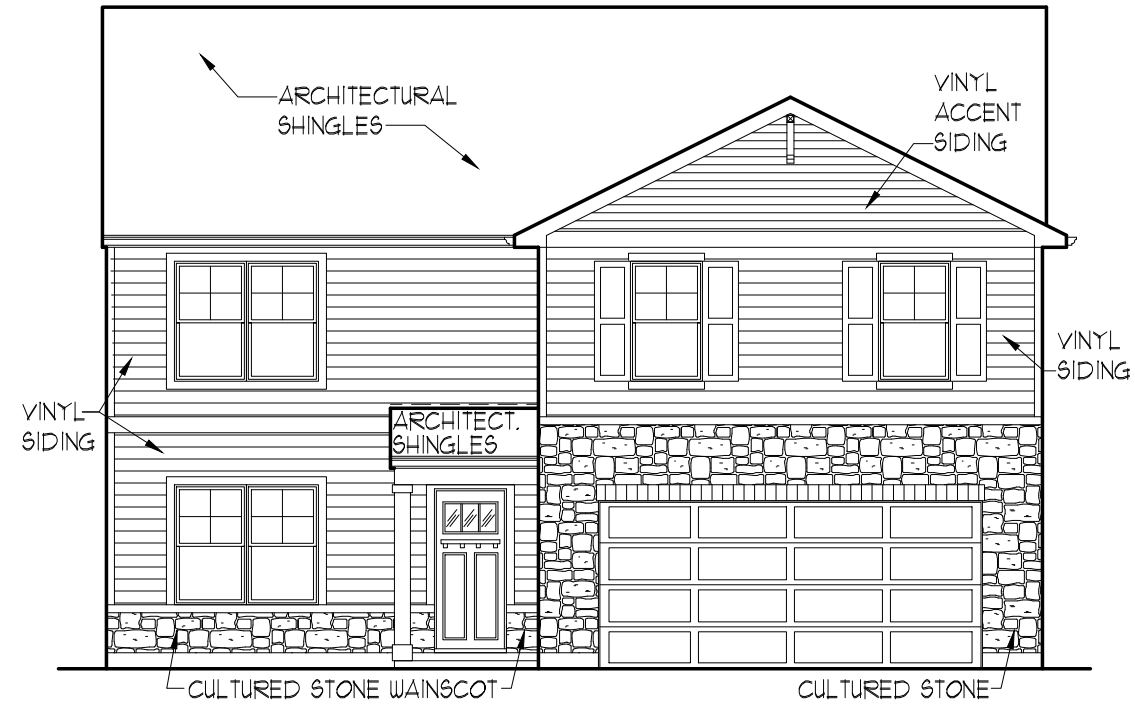


TYPICAL REAR ELEVATION

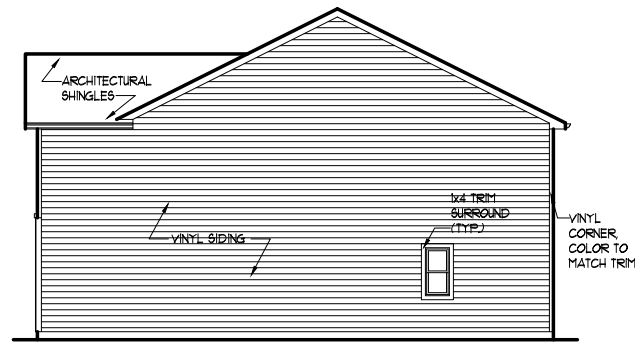


TYPICAL LEFT ELEVATION

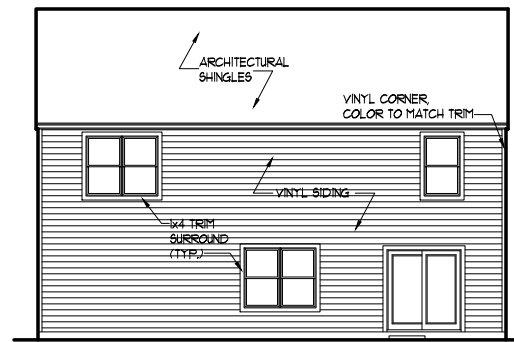
x429 Henley
X-SERIES



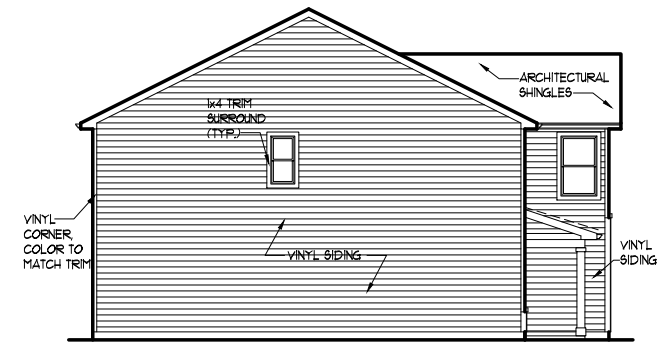
ELEVATION "A5"



TYPICAL RIGHT ELEVATION

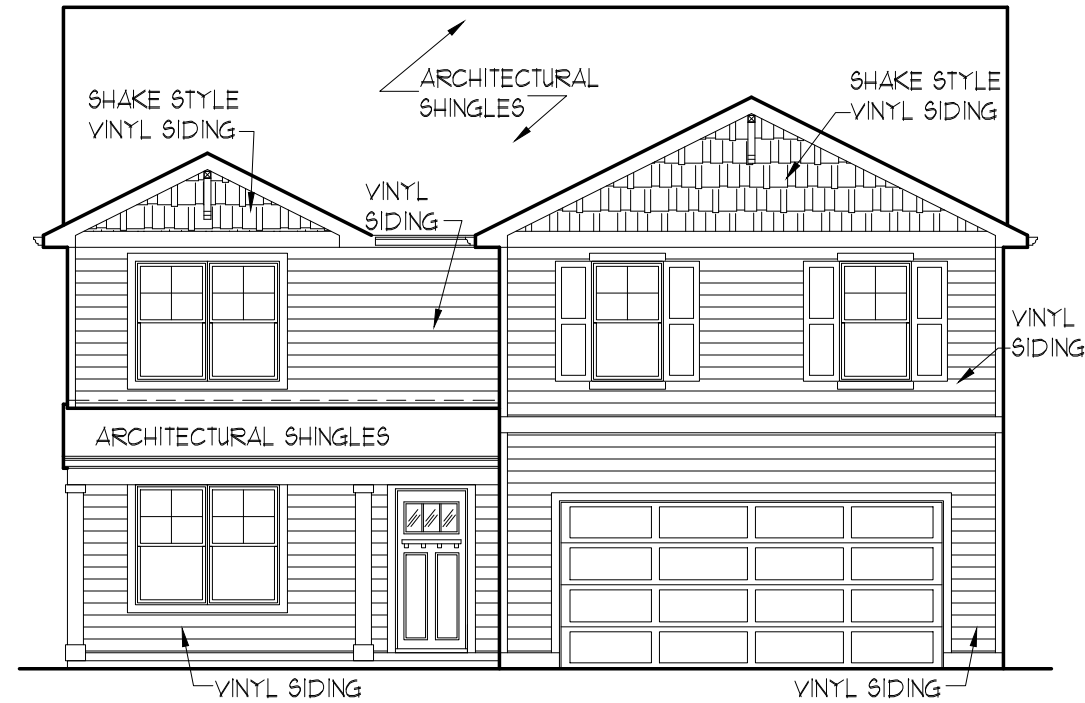


TYPICAL REAR ELEVATION

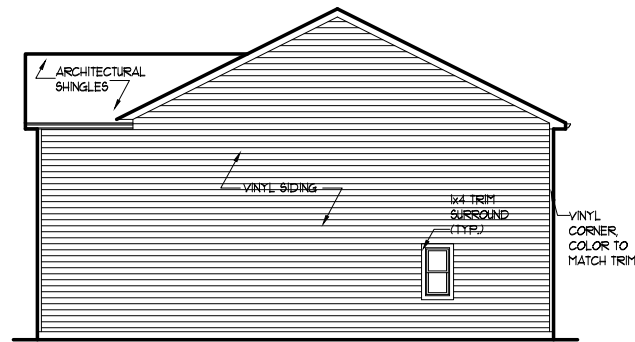


TYPICAL LEFT ELEVATION

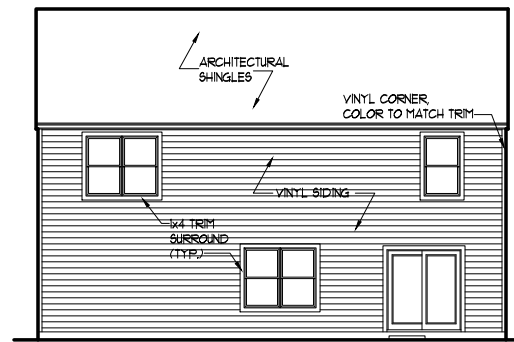
x429 Henley
X-SERIES



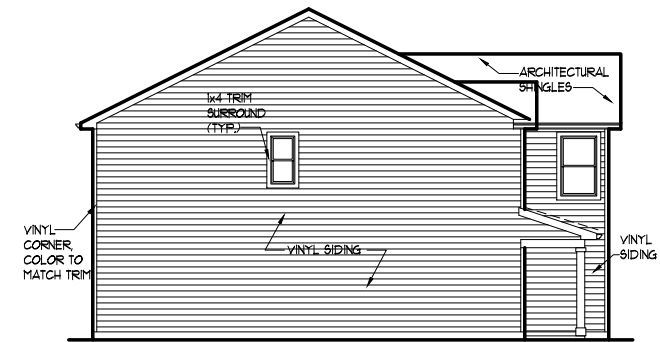
ELEVATION "B1"



TYPICAL RIGHT ELEVATION

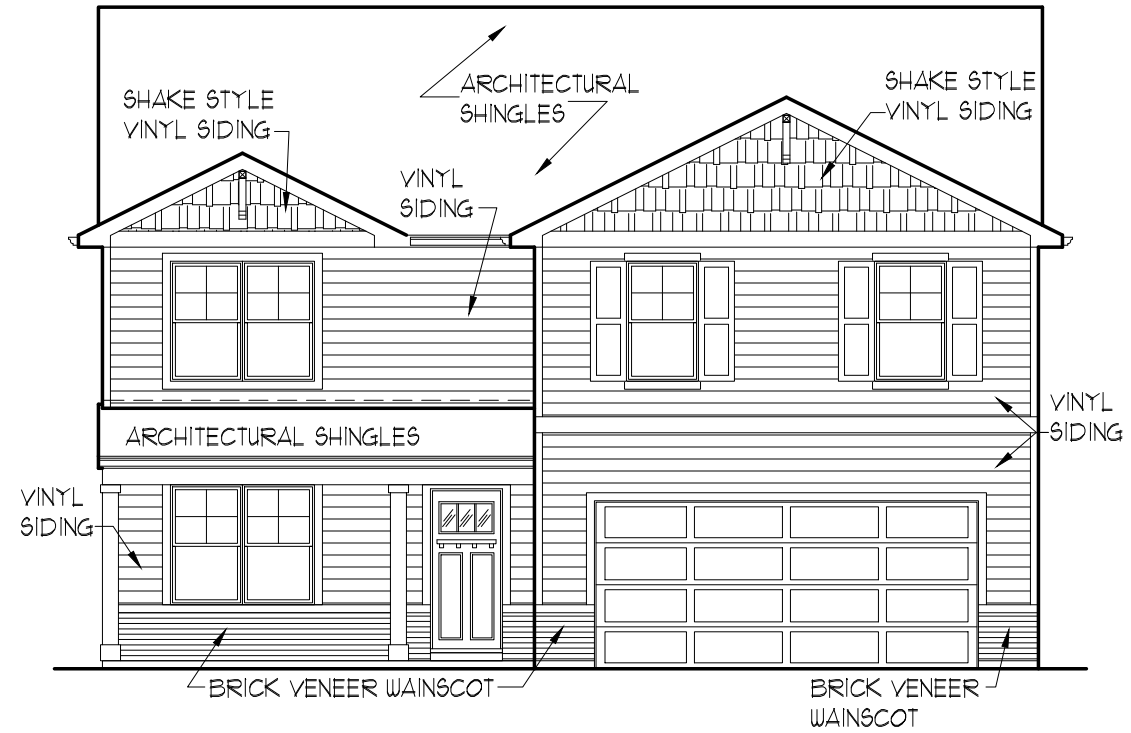


TYPICAL REAR ELEVATION

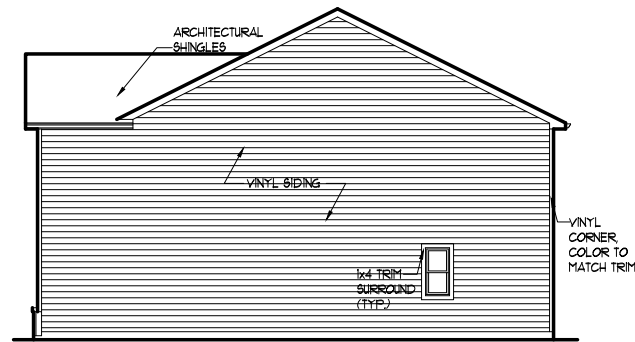


TYPICAL LEFT ELEVATION

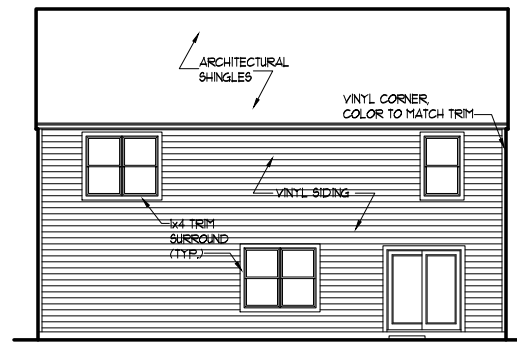
x429 Henley
X-SERIES



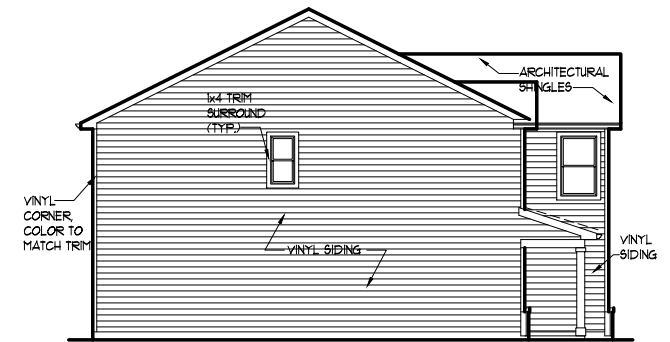
ELEVATION "B2"



TYPICAL RIGHT ELEVATION

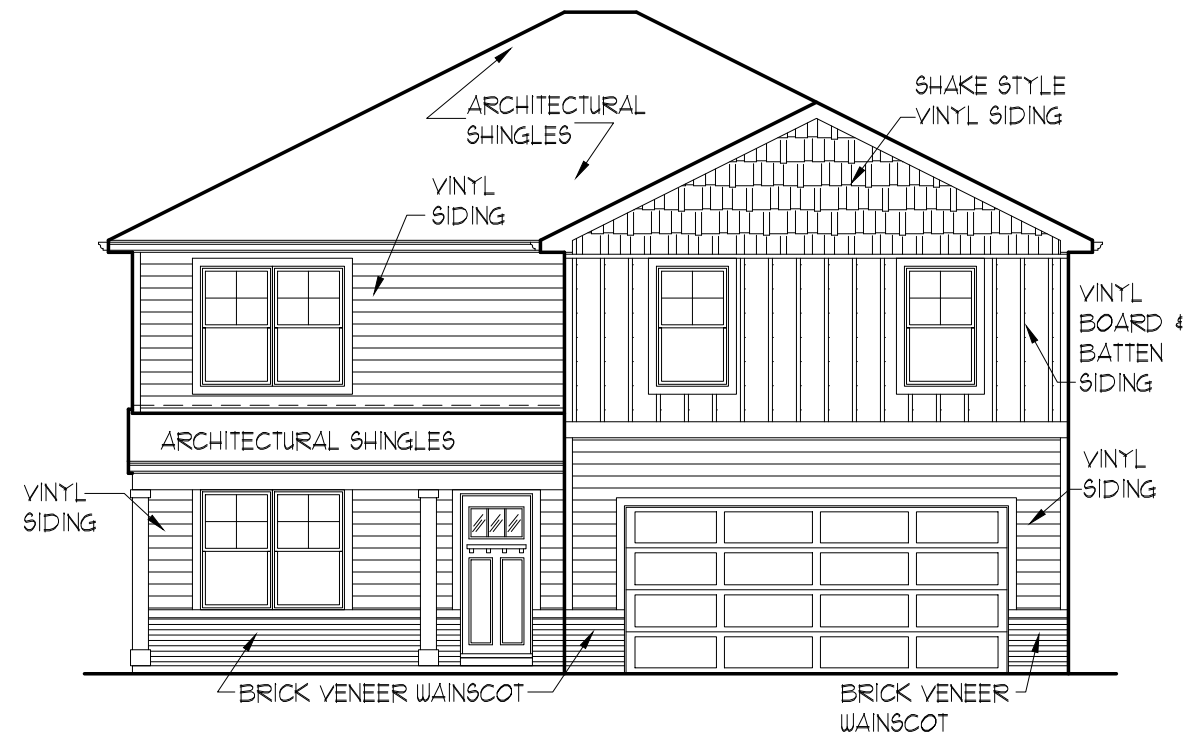


TYPICAL REAR ELEVATION

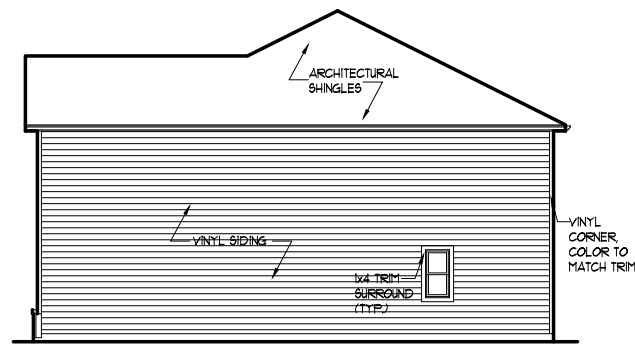


TYPICAL LEFT ELEVATION

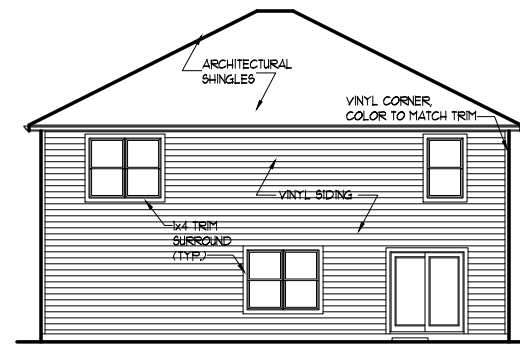
x429 Henley
X-SERIES



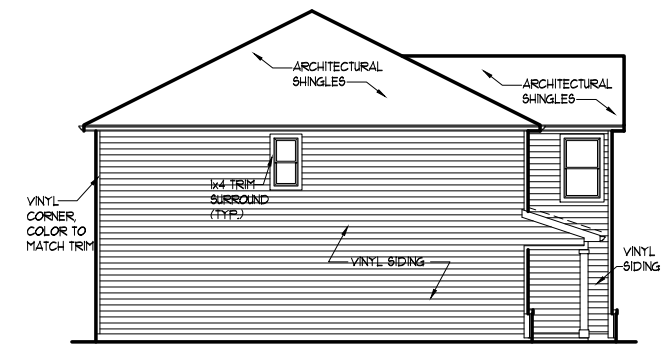
ELEVATION "D2"



TYPICAL RIGHT ELEVATION

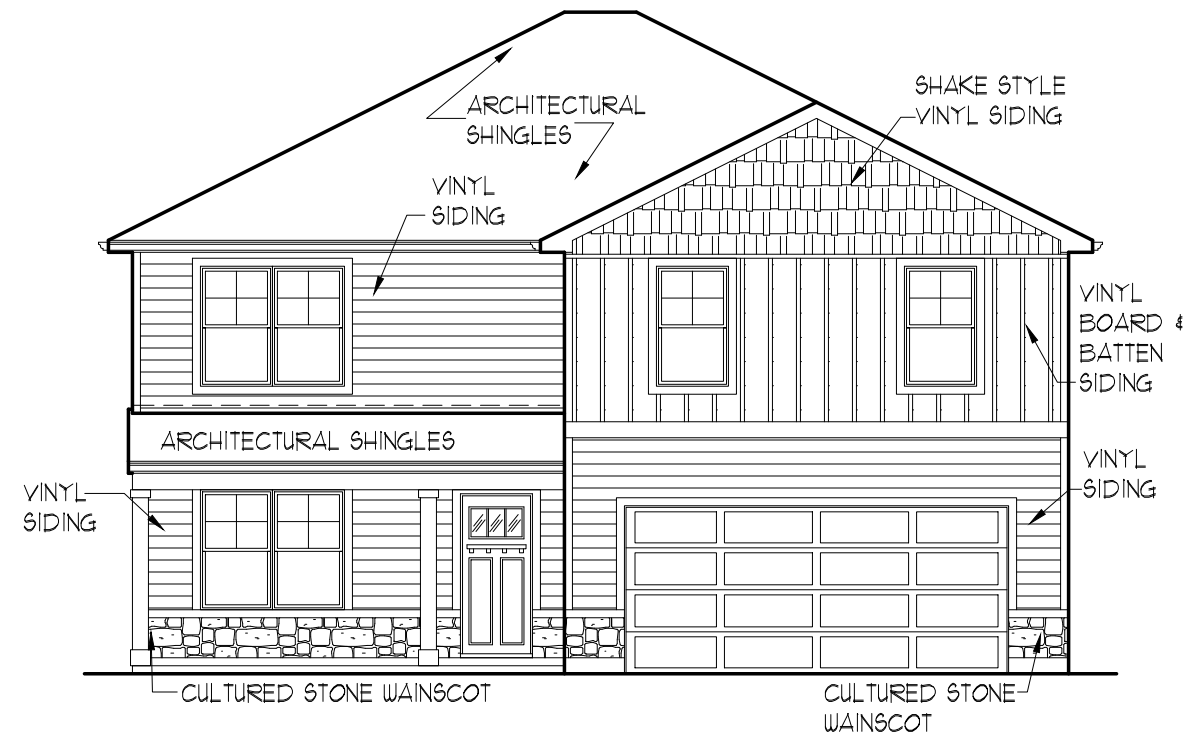


TYPICAL REAR ELEVATION

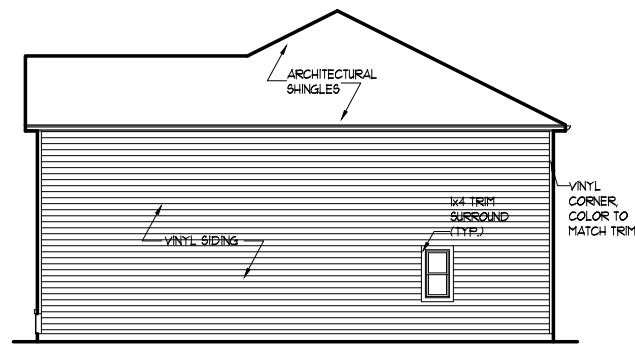


TYPICAL LEFT ELEVATION

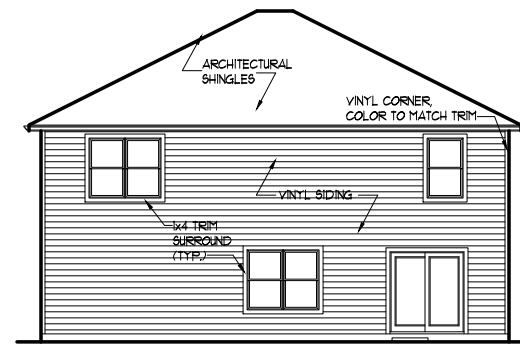
x429 Henley
X-SERIES



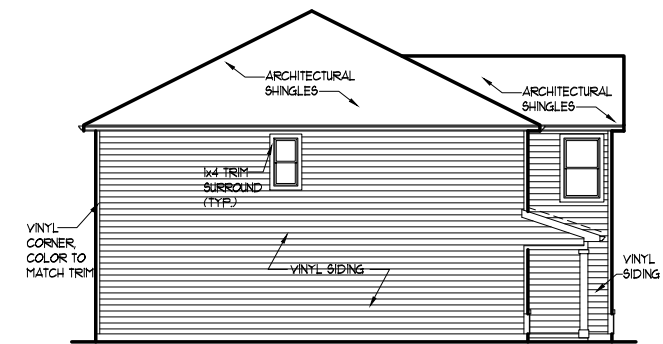
ELEVATION "D3"



TYPICAL RIGHT ELEVATION



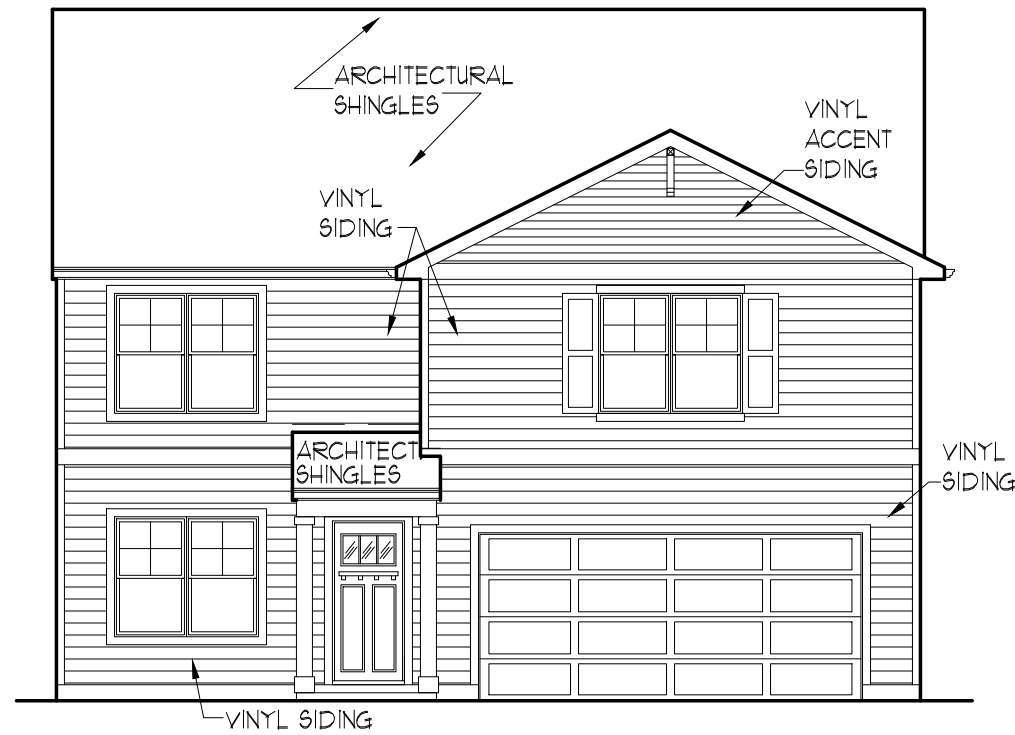
TYPICAL REAR ELEVATION



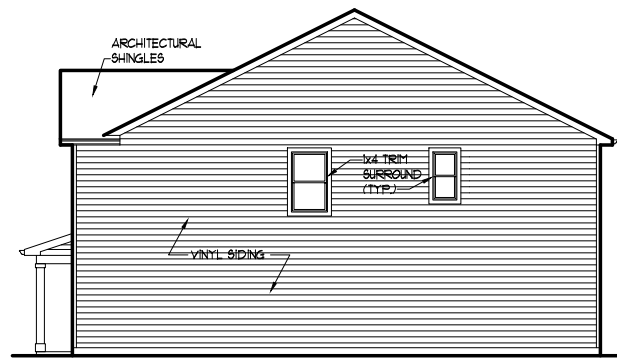
TYPICAL LEFT ELEVATION

x429 Henley

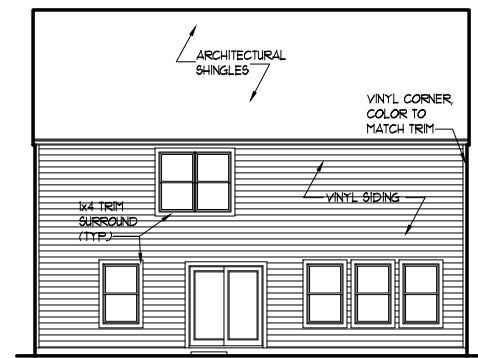
X-SERIES



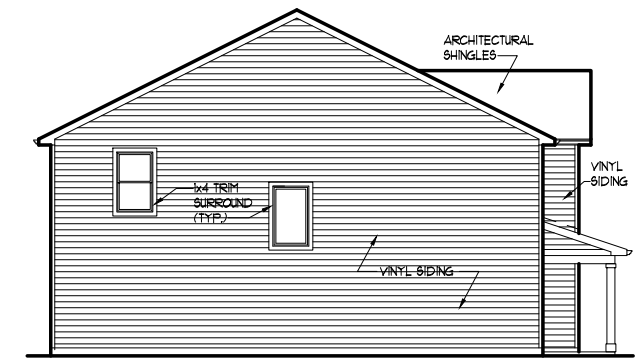
ELEVATION "A1"



TYPICAL RIGHT ELEVATION



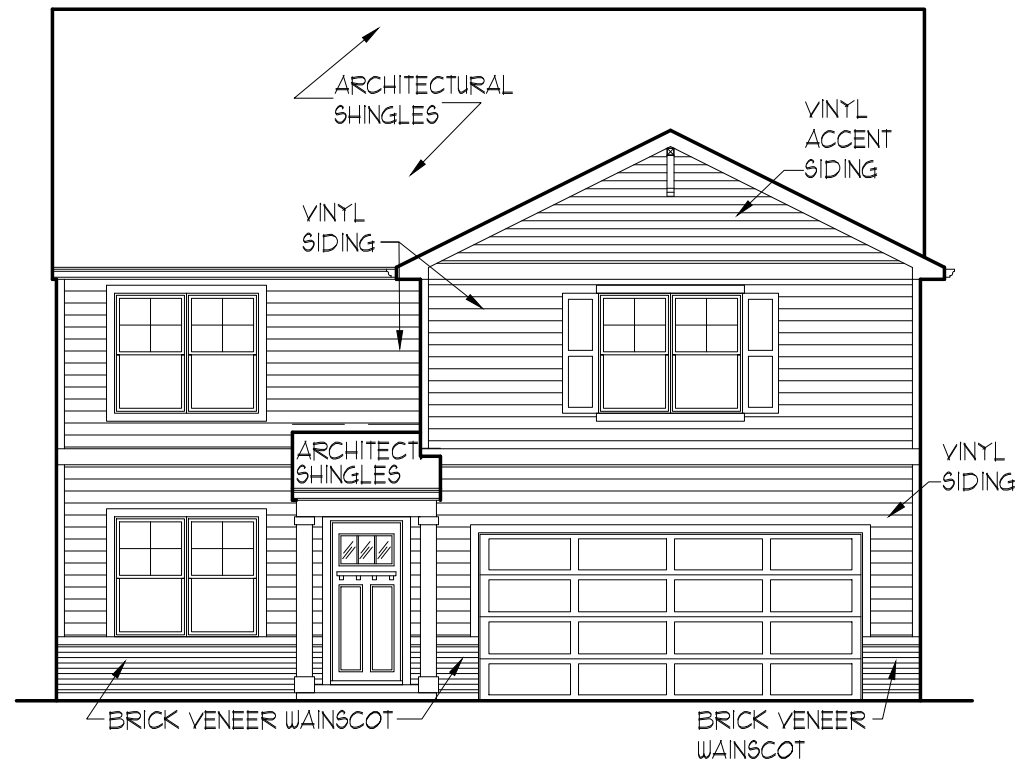
TYPICAL REAR ELEVATION



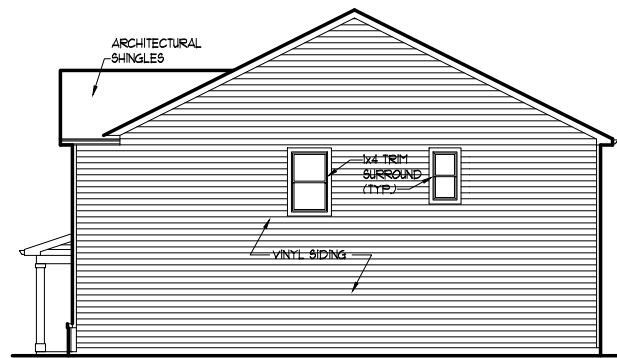
TYPICAL LEFT ELEVATION

X430 Bridgestone

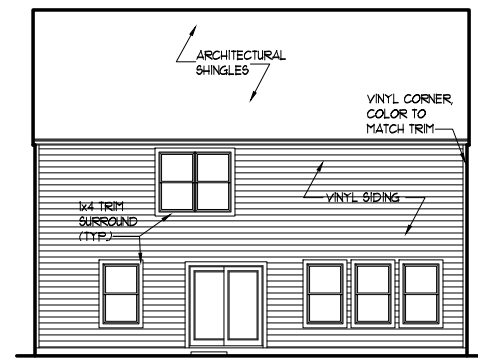
X-SERIES



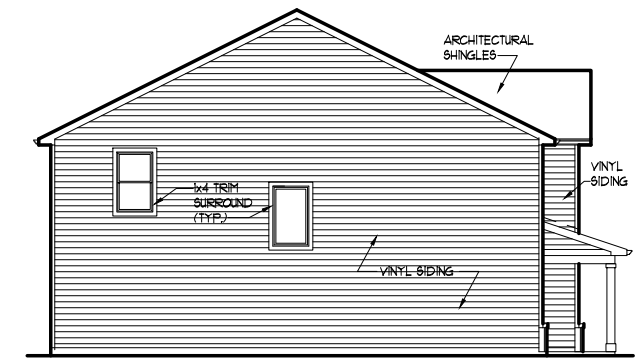
ELEVATION "A2"



TYPICAL RIGHT ELEVATION



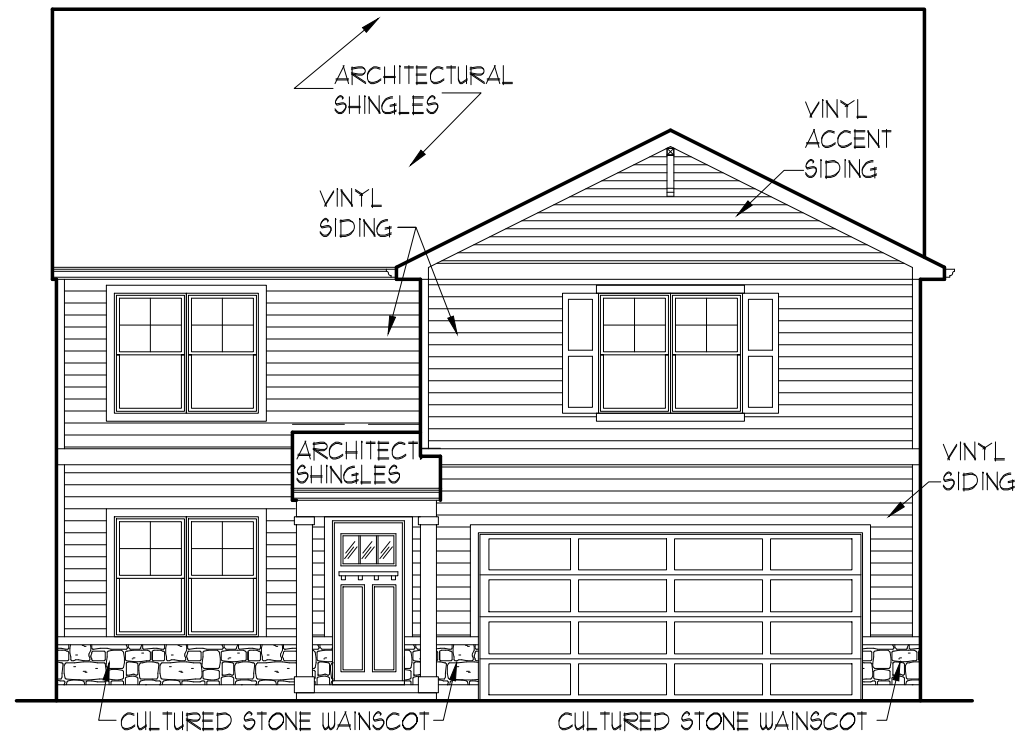
TYPICAL REAR ELEVATION



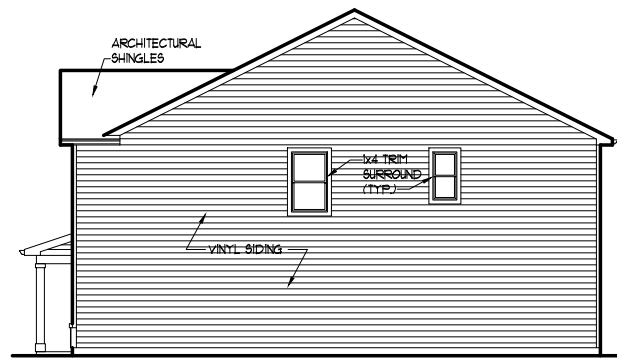
TYPICAL LEFT ELEVATION

X430 Bridgestone

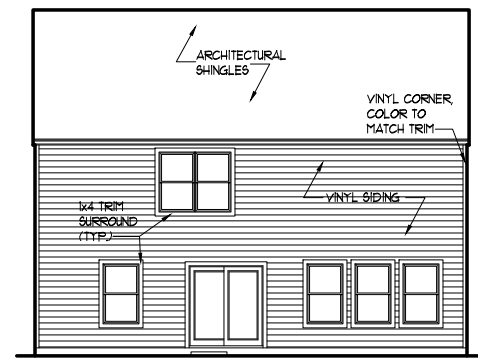
X-SERIES



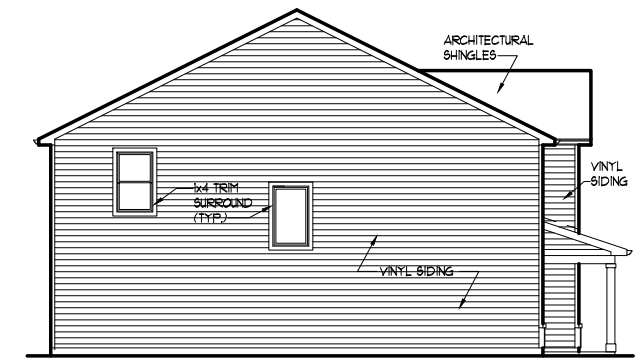
ELEVATION "A3"



TYPICAL RIGHT ELEVATION



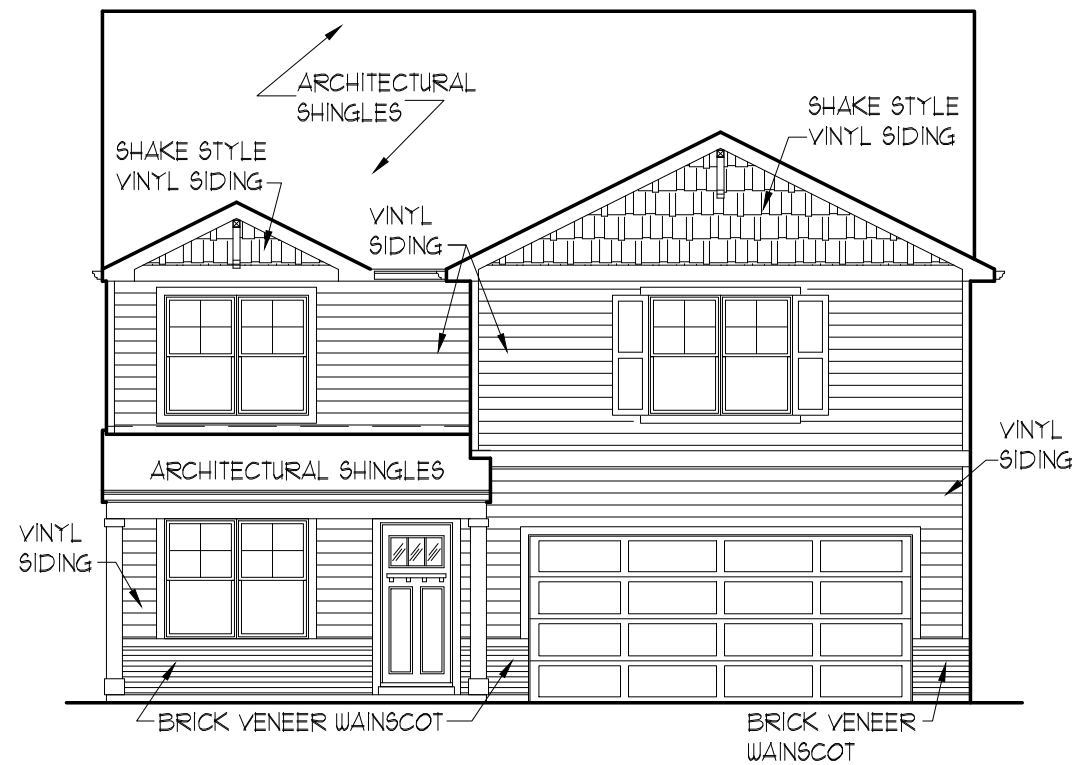
TYPICAL REAR ELEVATION



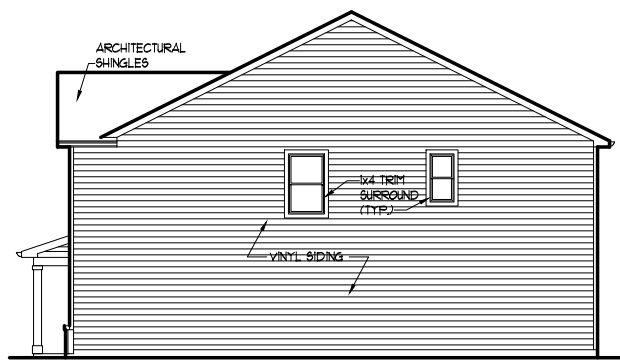
TYPICAL LEFT ELEVATION

X430 Bridgestone

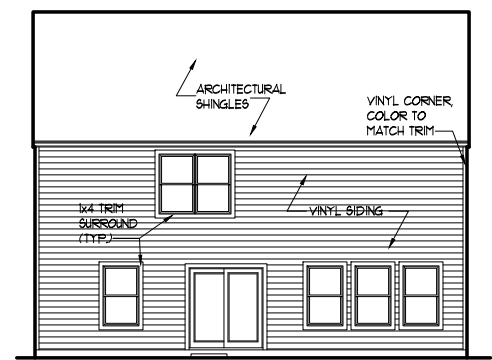
X-SERIES



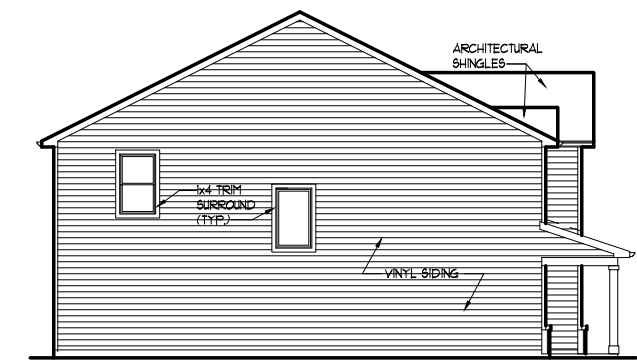
ELEVATION "B2"



TYPICAL RIGHT ELEVATION

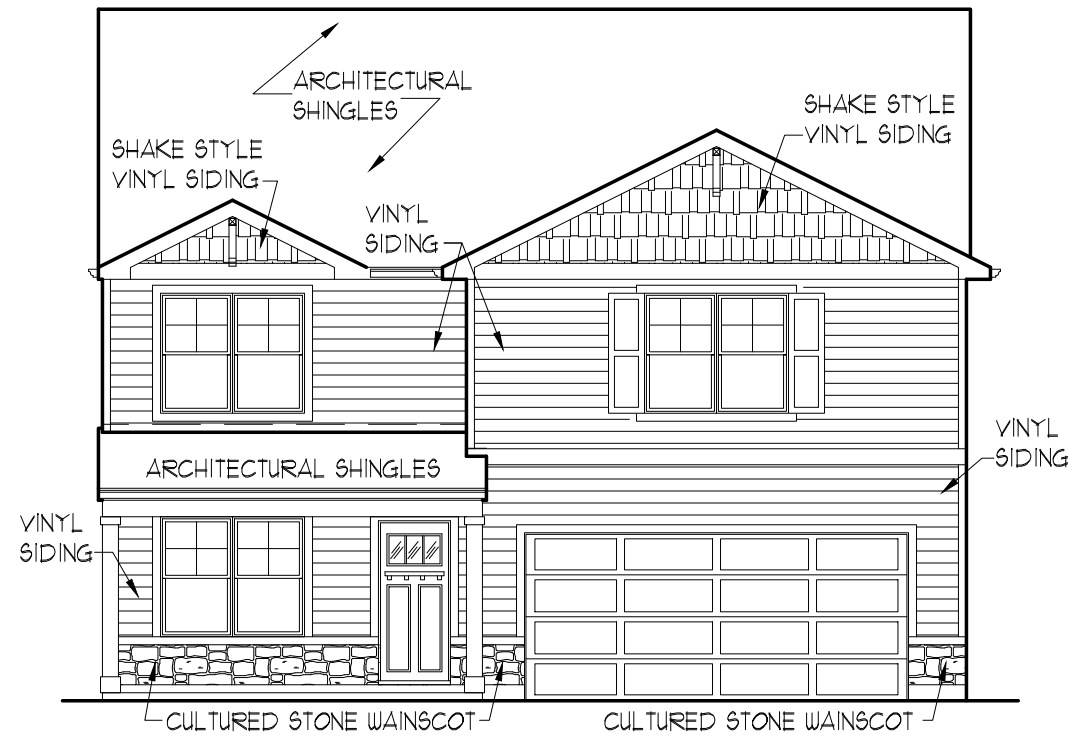


TYPICAL REAR ELEVATION

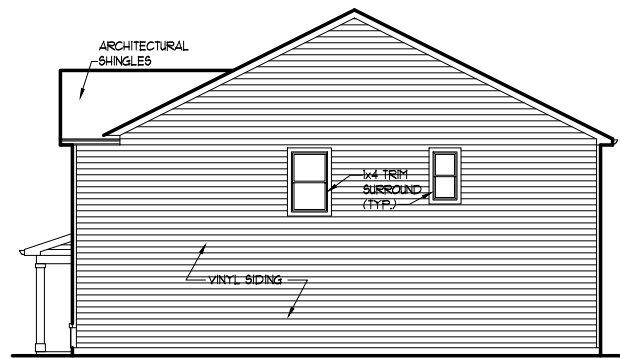


TYPICAL LEFT ELEVATION

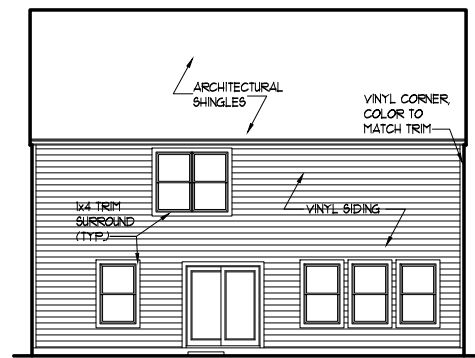
X430 **Bridgestone**
X-SERIES



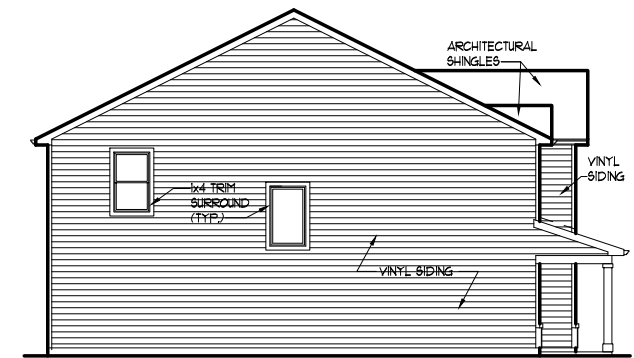
ELEVATION "B3"



TYPICAL RIGHT ELEVATION



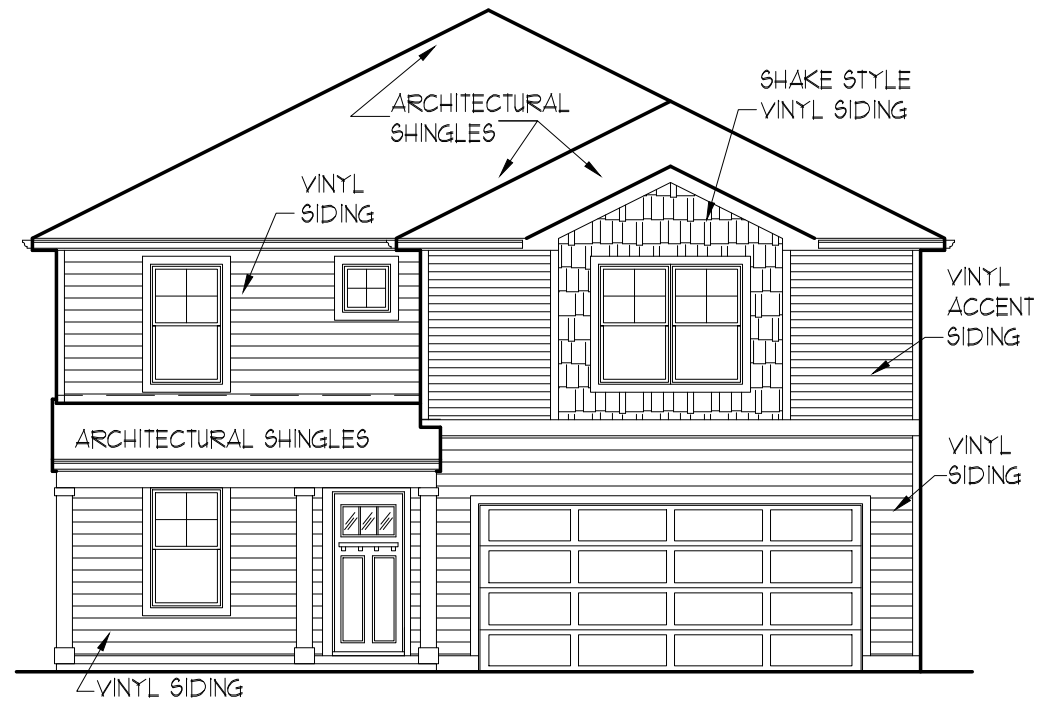
TYPICAL REAR ELEVATION



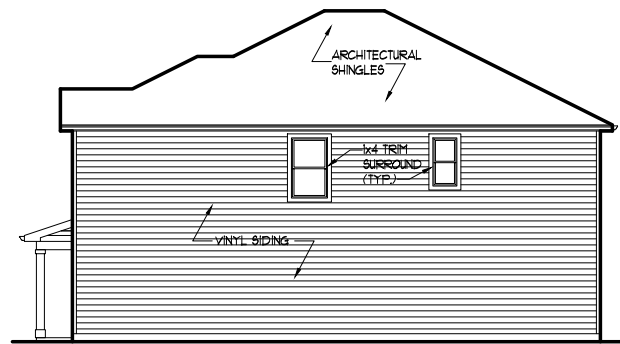
TYPICAL LEFT ELEVATION

X430 Bridgestone

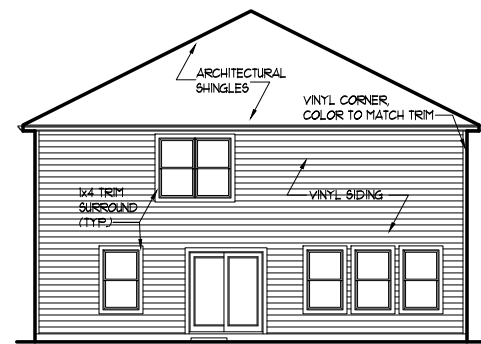
X-SERIES



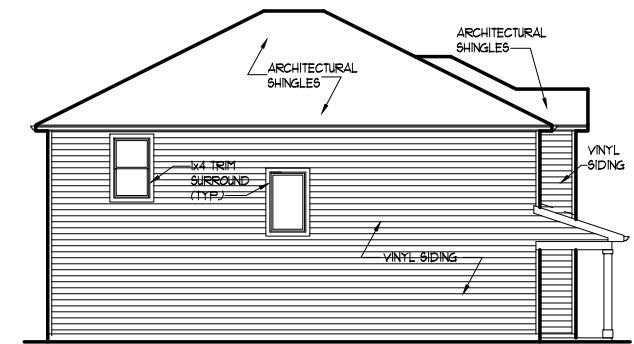
ELEVATION "D1"



TYPICAL RIGHT ELEVATION



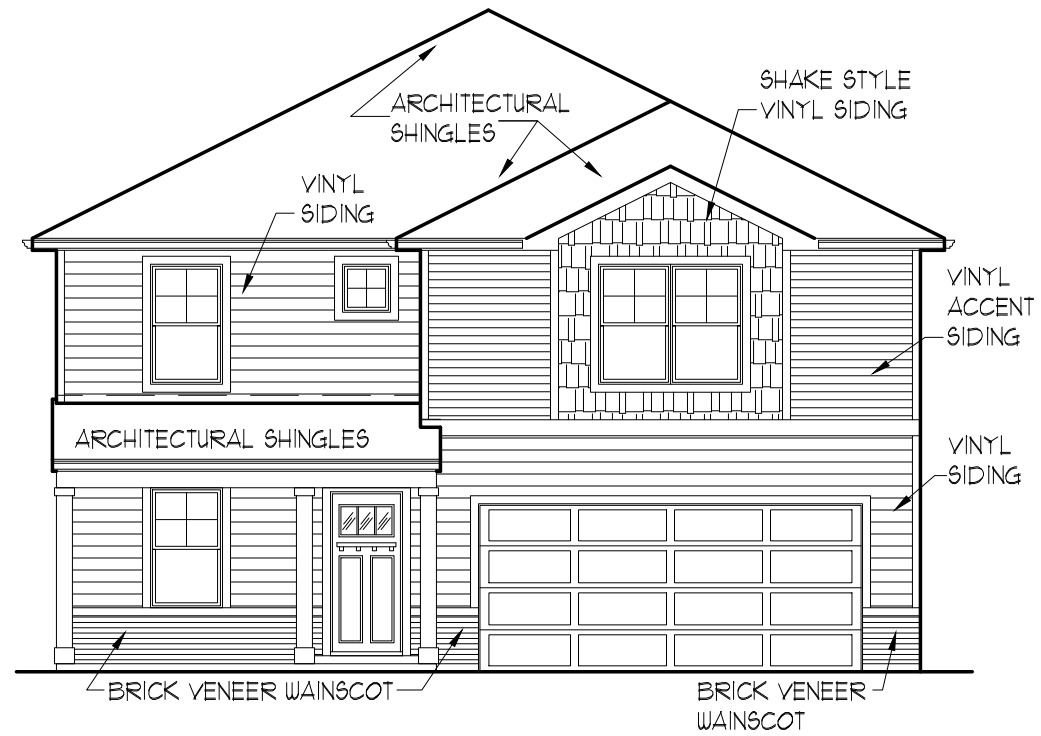
TYPICAL REAR ELEVATION



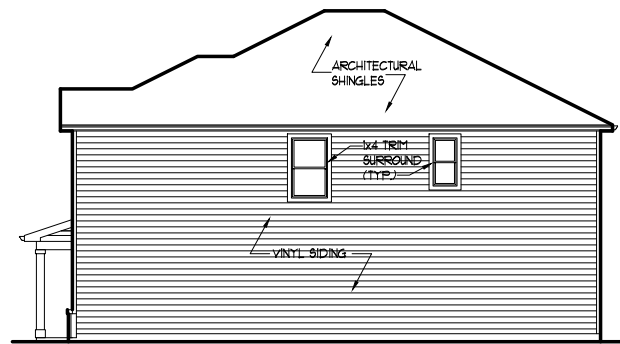
TYPICAL LEFT ELEVATION

X430 **Bridgestone**

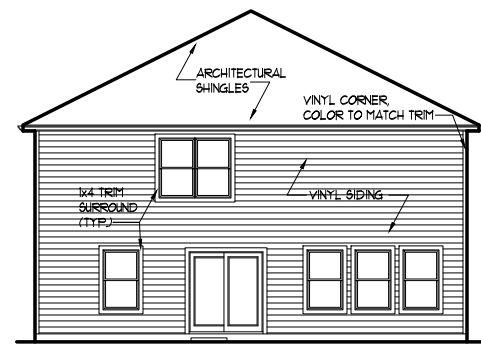
X-SERIES



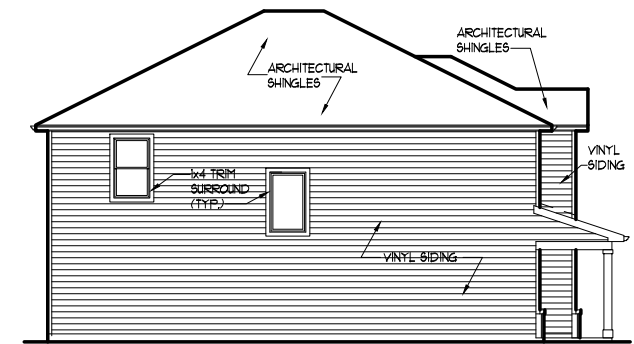
ELEVATION "D2"



TYPICAL RIGHT ELEVATION



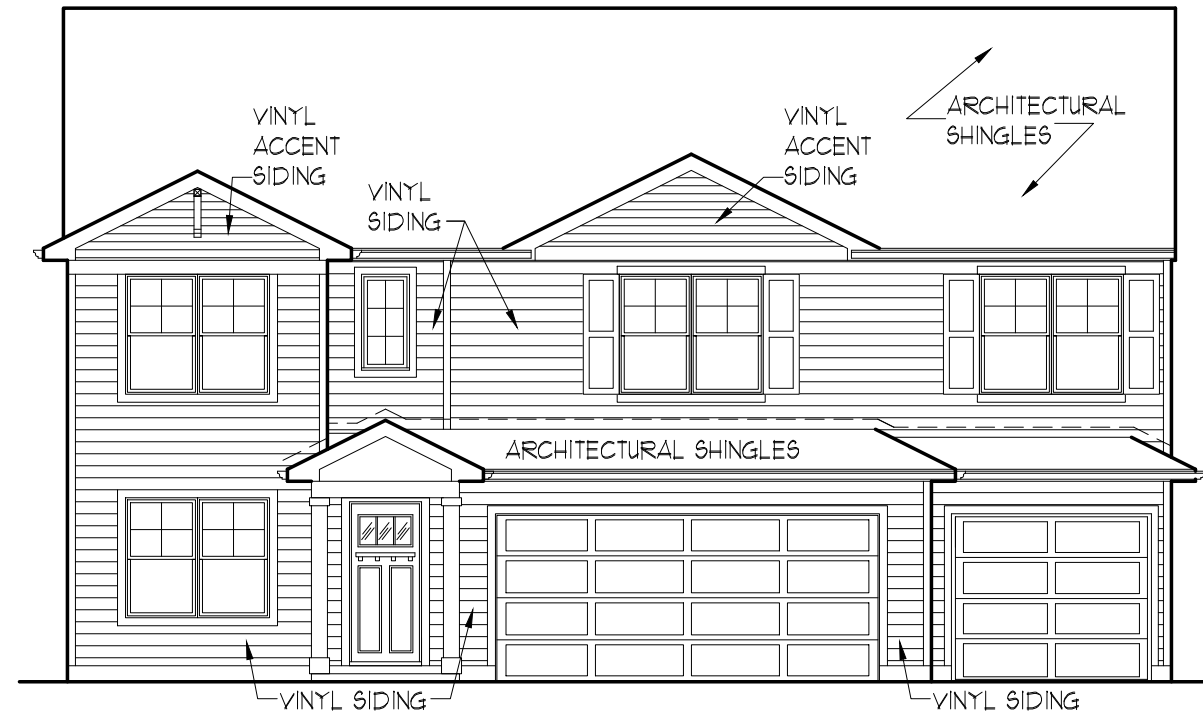
TYPICAL REAR ELEVATION



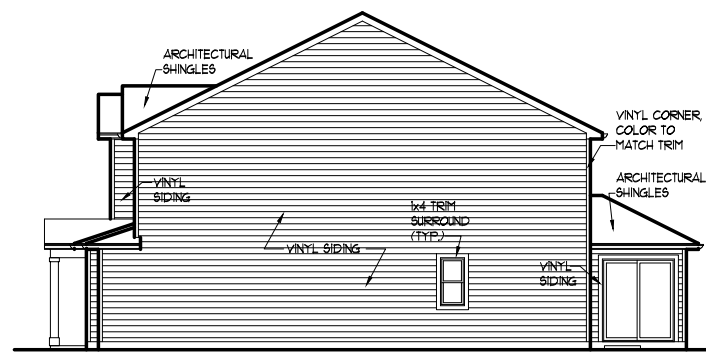
TYPICAL LEFT ELEVATION

X430 Bridgestone

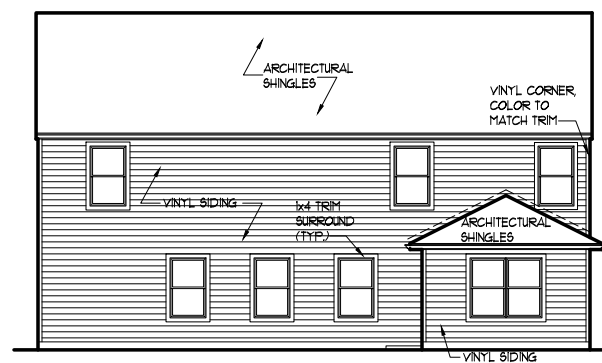
X-SERIES



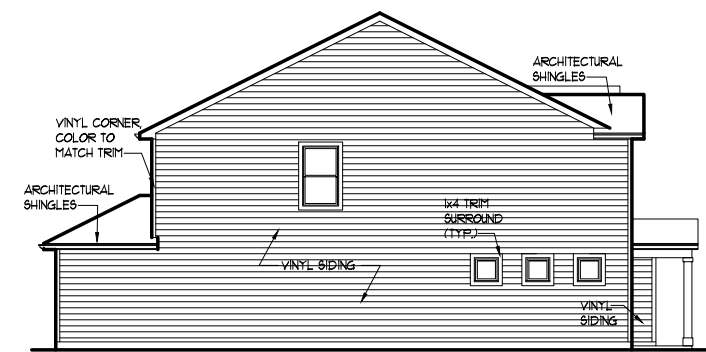
ELEVATION "A1"



TYPICAL RIGHT ELEVATION

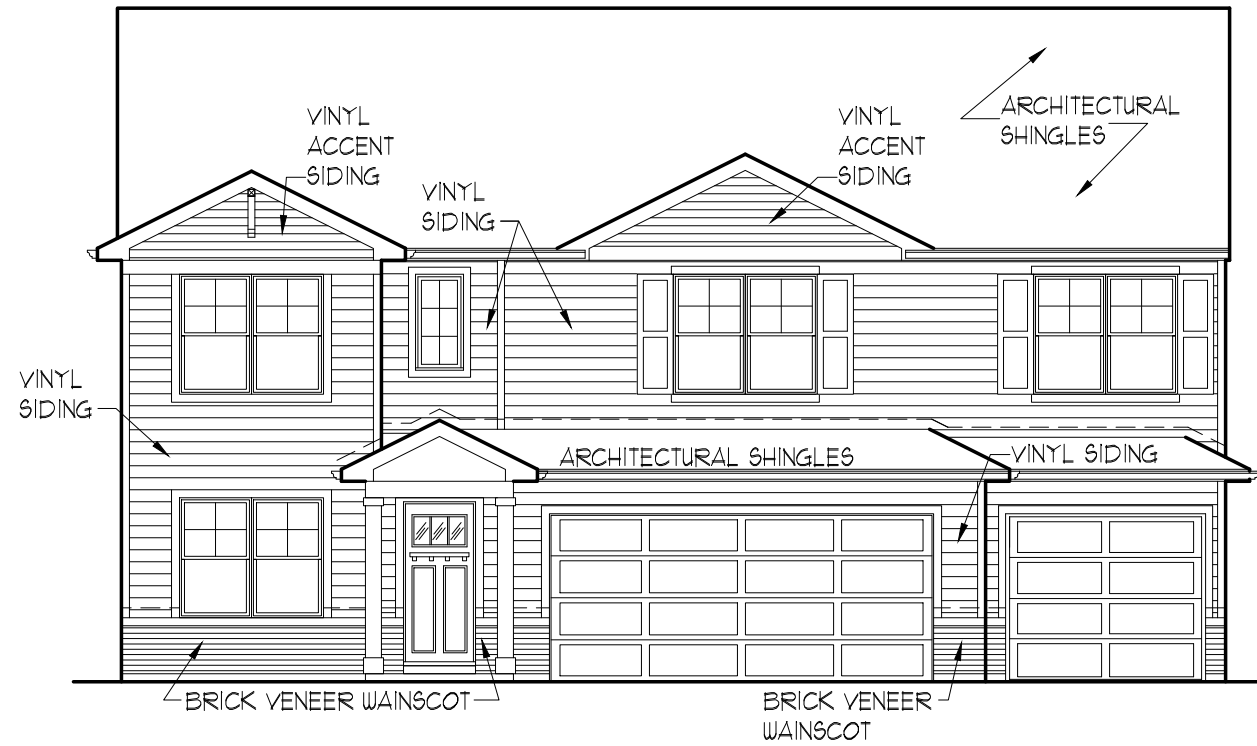


TYPICAL REAR ELEVATION

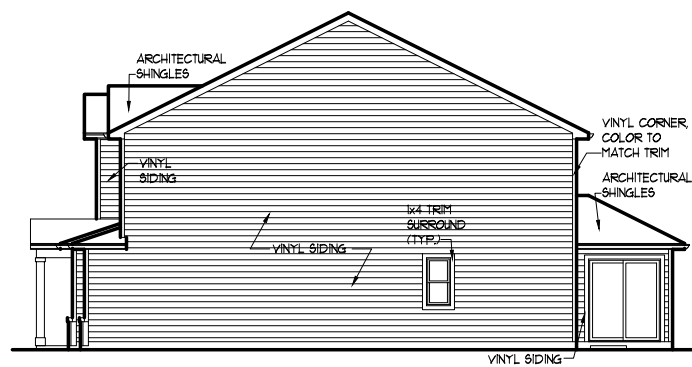


TYPICAL LEFT ELEVATION

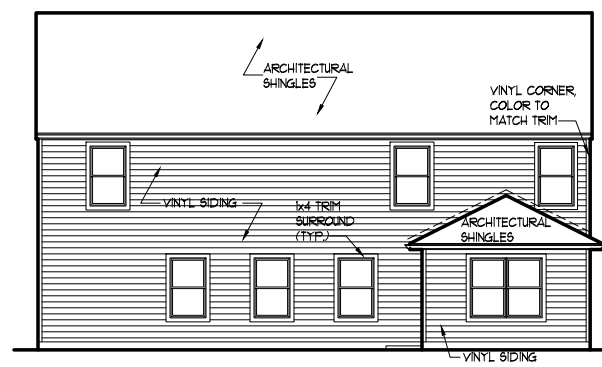
X450 Emerson
X-SERIES



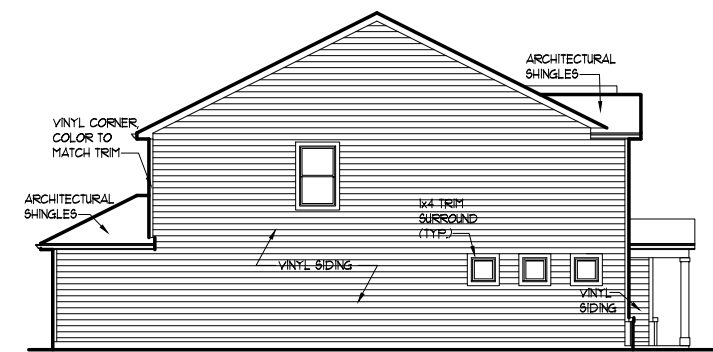
ELEVATION "A2"



TYPICAL RIGHT ELEVATION



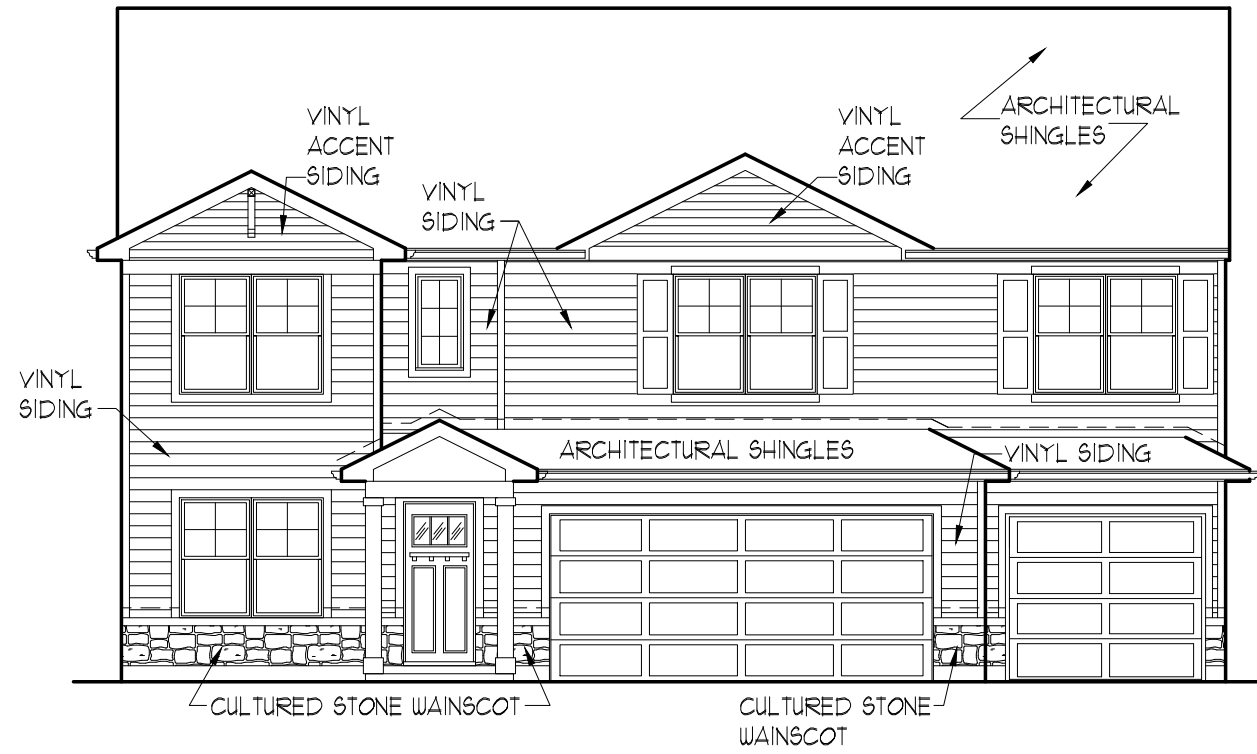
TYPICAL REAR ELEVATION



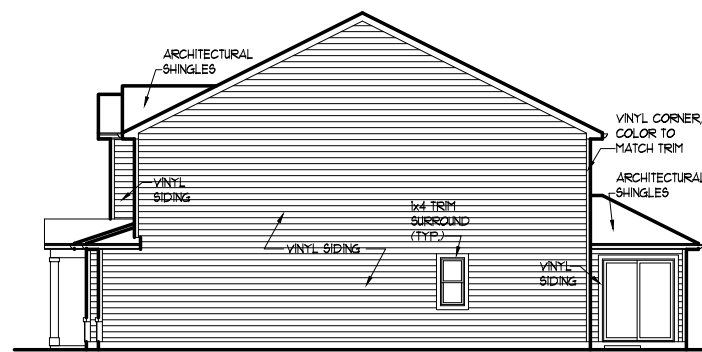
TYPICAL LEFT ELEVATION

X450 Emerson

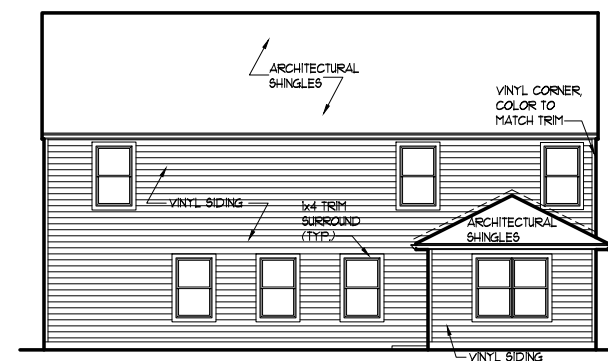
X-SERIES



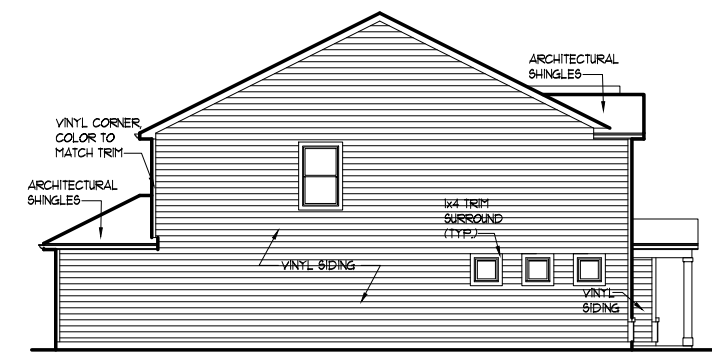
ELEVATION "A3"



TYPICAL RIGHT ELEVATION

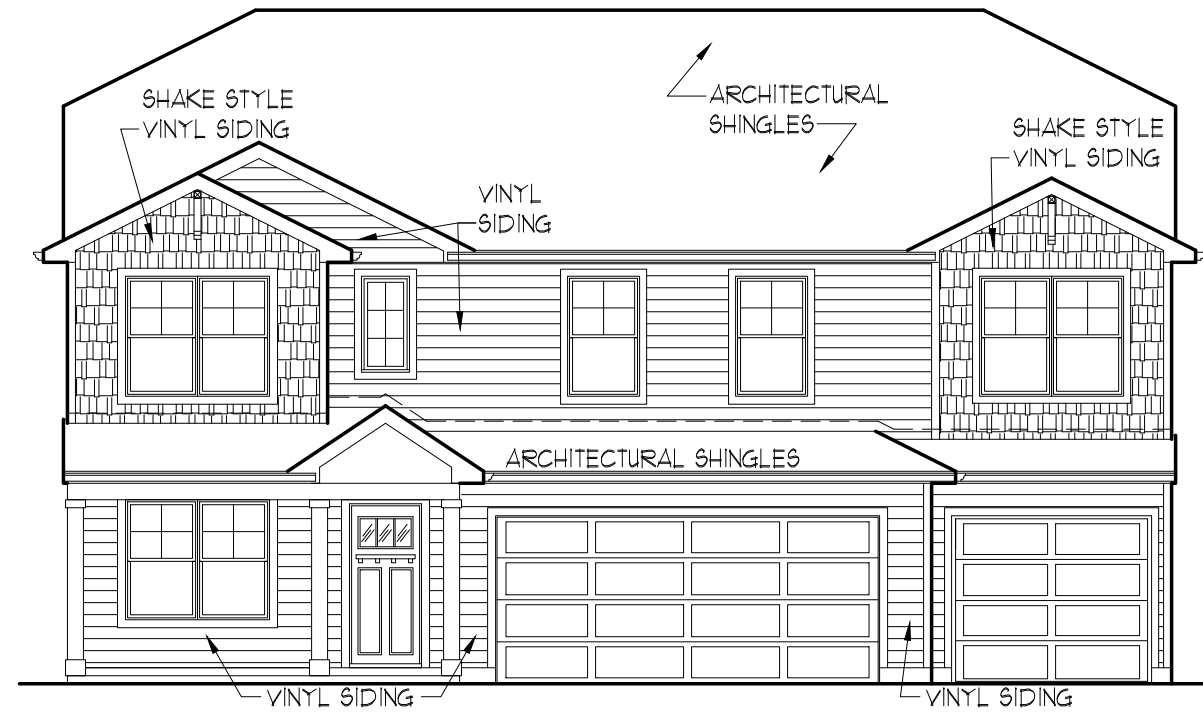


TYPICAL REAR ELEVATION

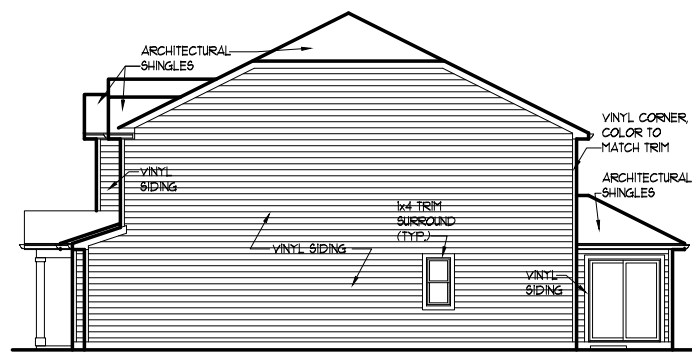


TYPICAL LEFT ELEVATION

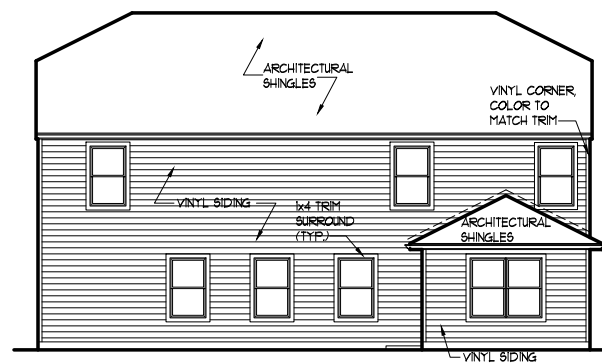
X450 Emerson
X-SERIES



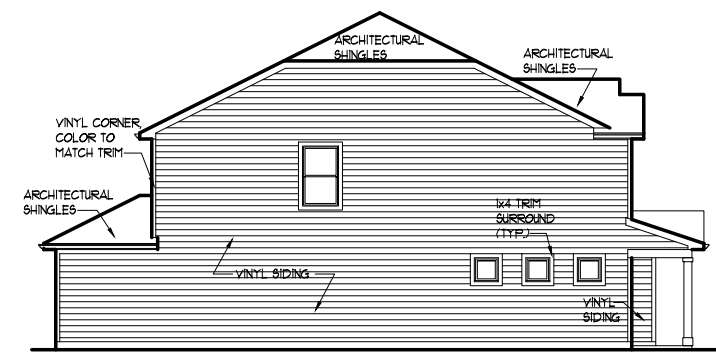
ELEVATION "BI"



TYPICAL RIGHT ELEVATION



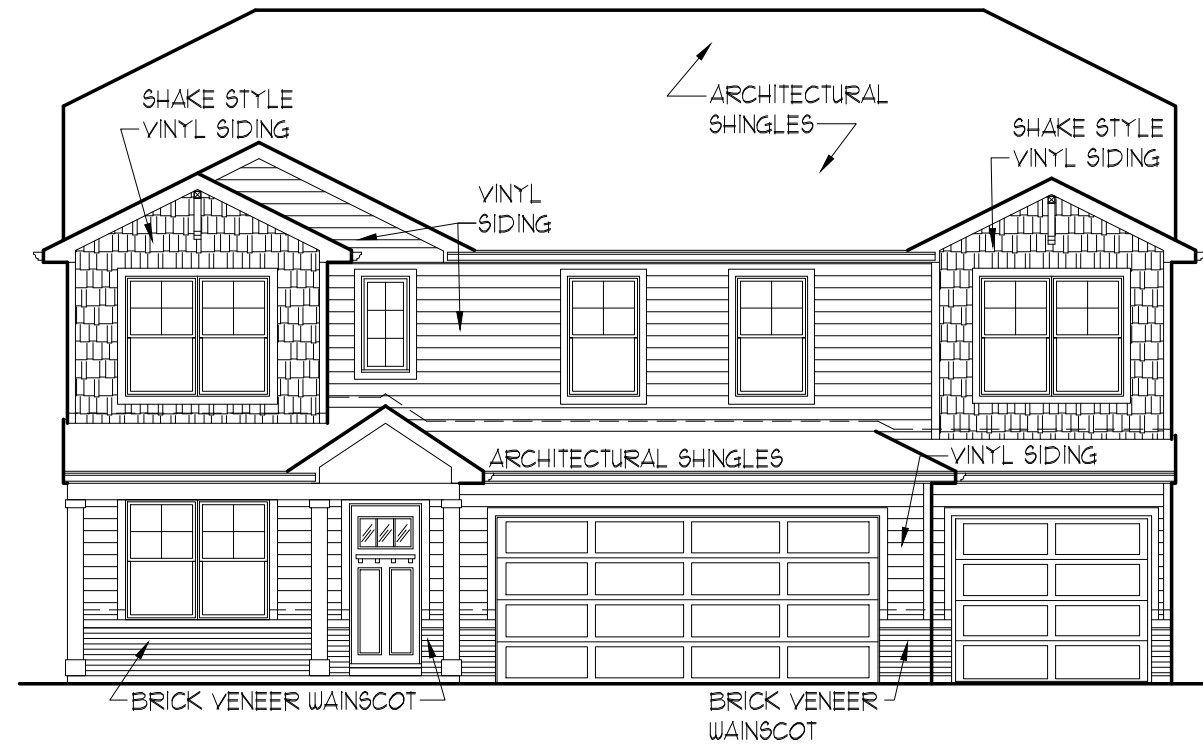
TYPICAL REAR ELEVATION



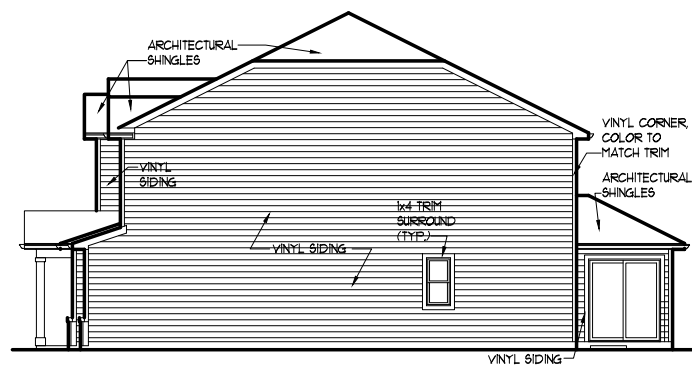
TYPICAL LEFT ELEVATION

X450 Emerson

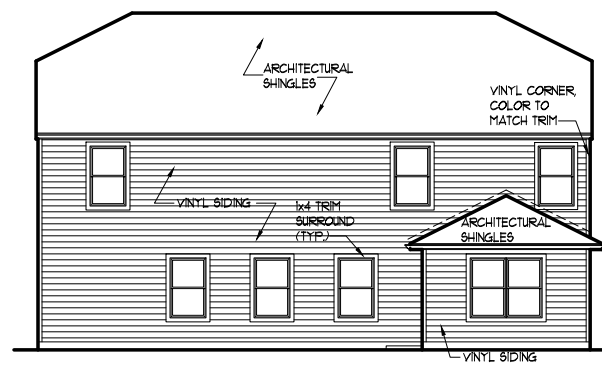
X-SERIES



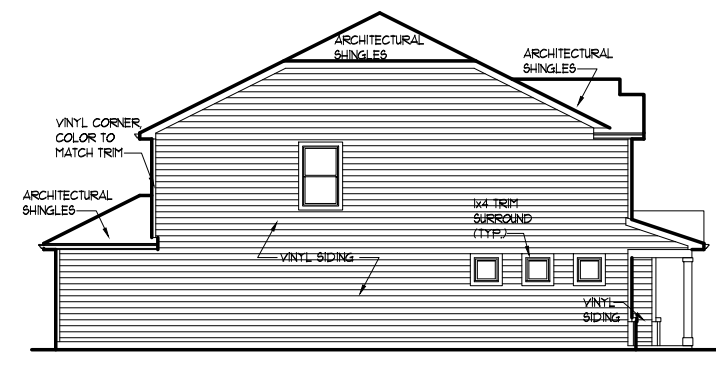
ELEVATION "B2"



TYPICAL RIGHT ELEVATION



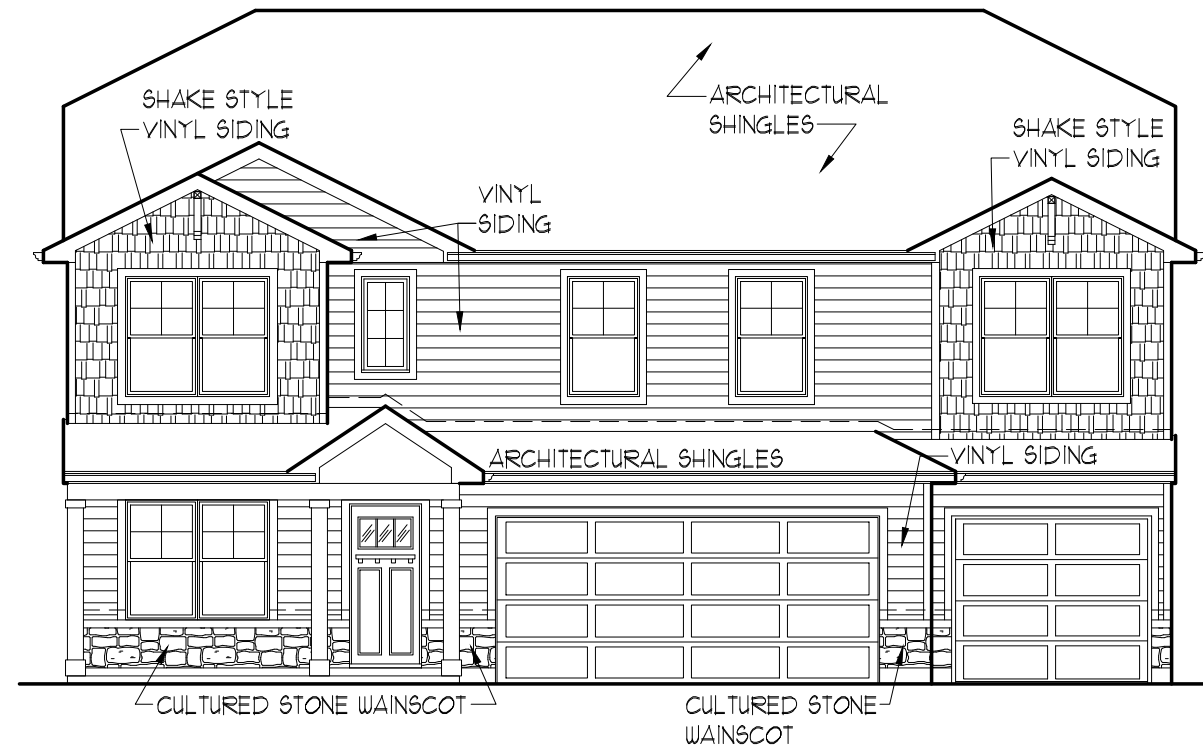
TYPICAL REAR ELEVATION



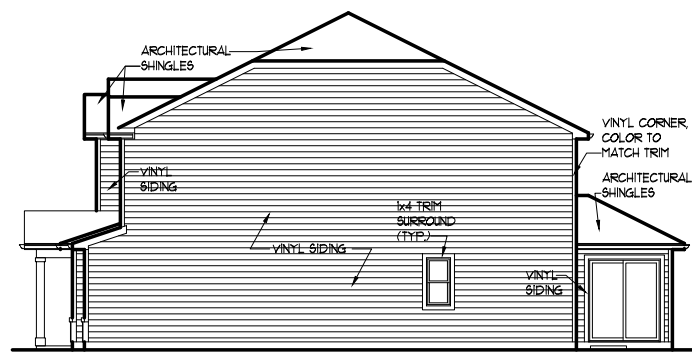
TYPICAL LEFT ELEVATION

X450 Emerson

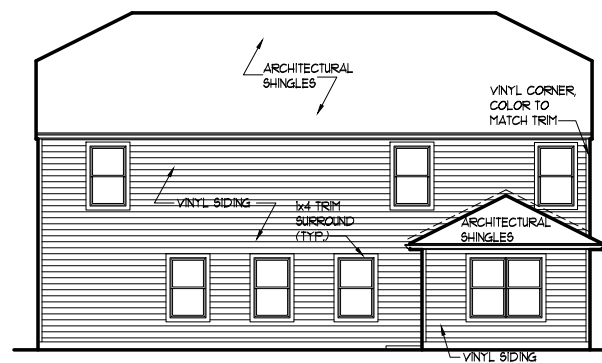
X-SERIES



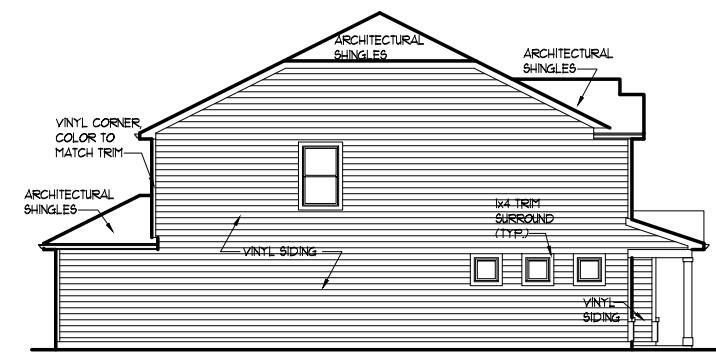
ELEVATION "B3"



TYPICAL RIGHT ELEVATION



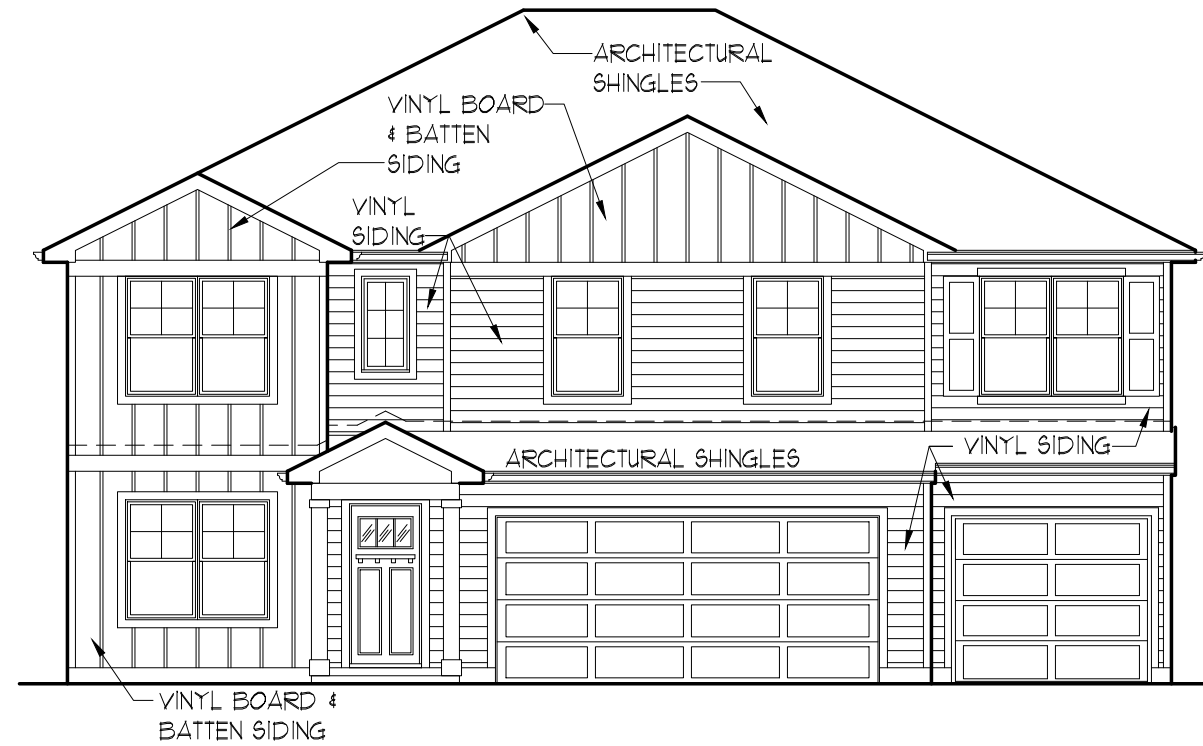
TYPICAL REAR ELEVATION



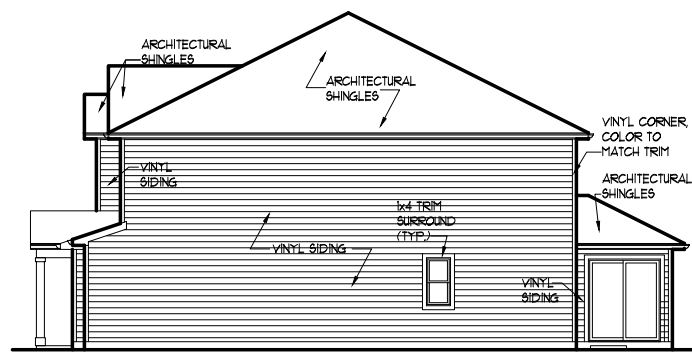
TYPICAL LEFT ELEVATION

X450 Emerson

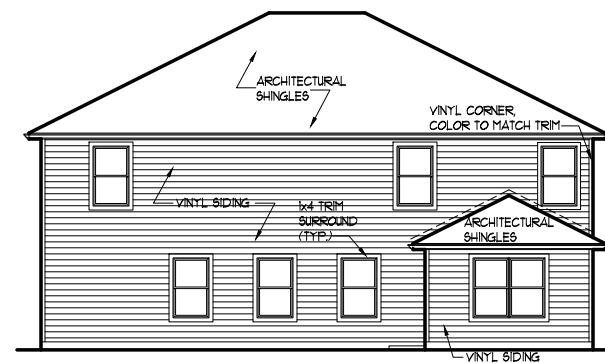
X-SERIES



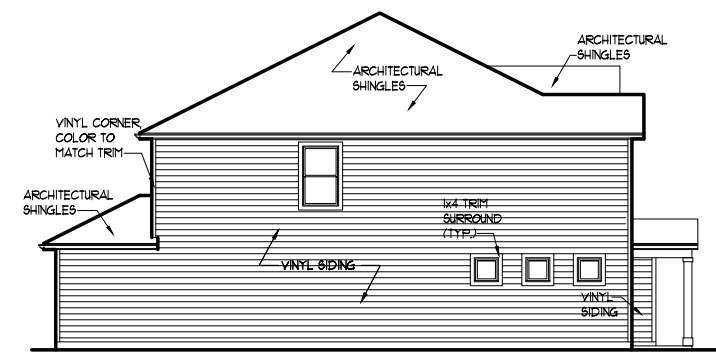
ELEVATION "C1"



TYPICAL RIGHT ELEVATION



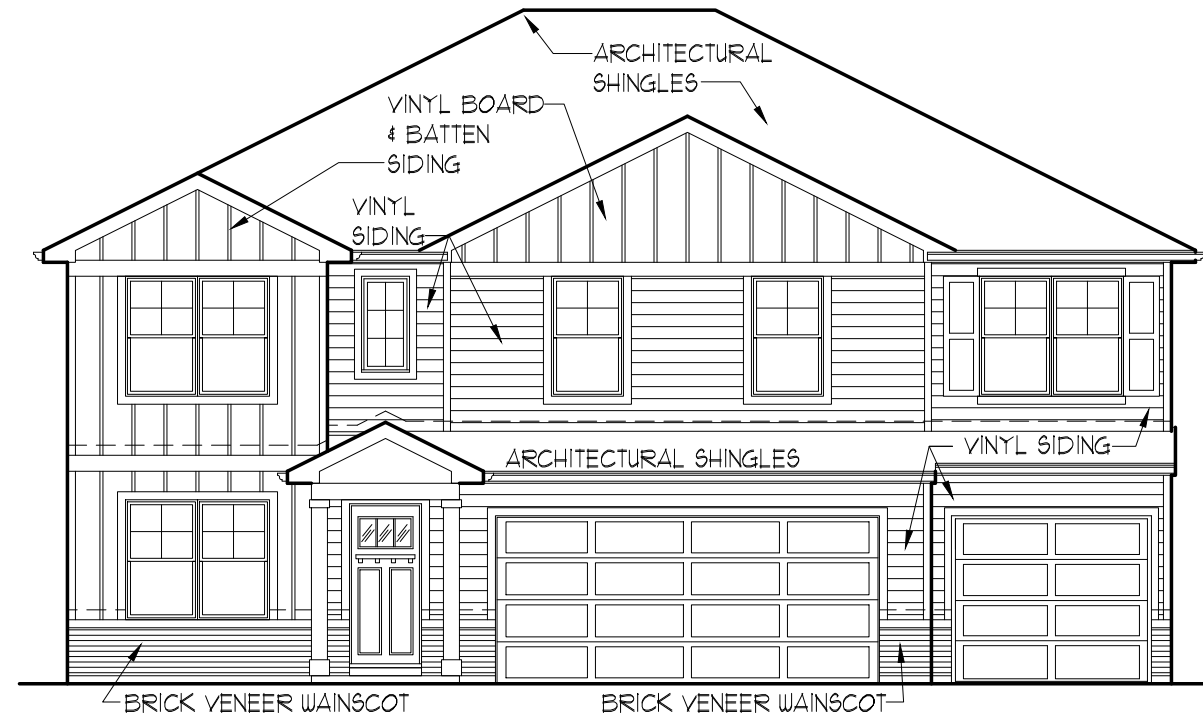
TYPICAL REAR ELEVATION



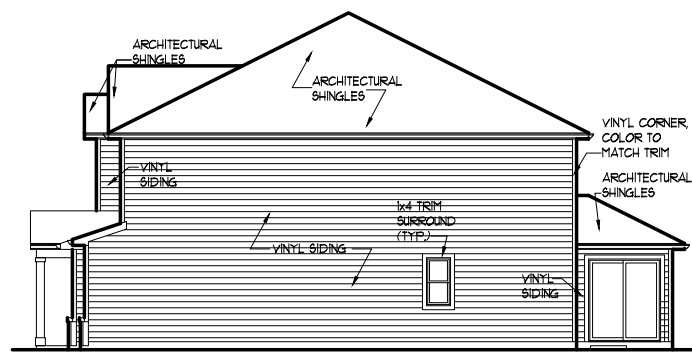
TYPICAL LEFT ELEVATION

X450 Emerson

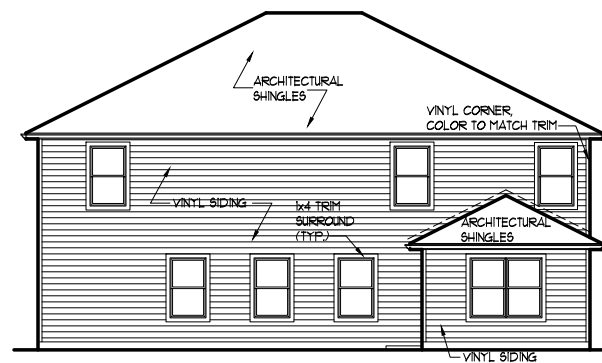
X-SERIES



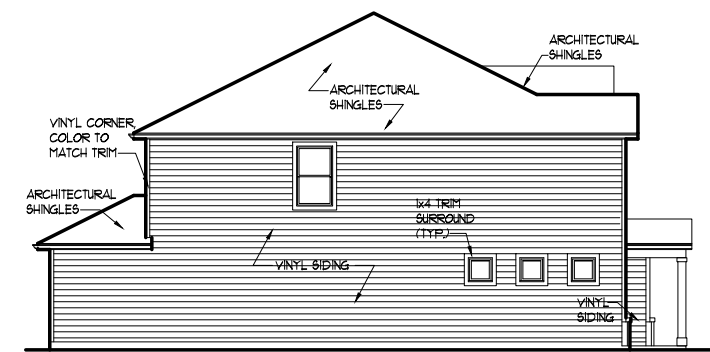
ELEVATION "C2"



TYPICAL RIGHT ELEVATION



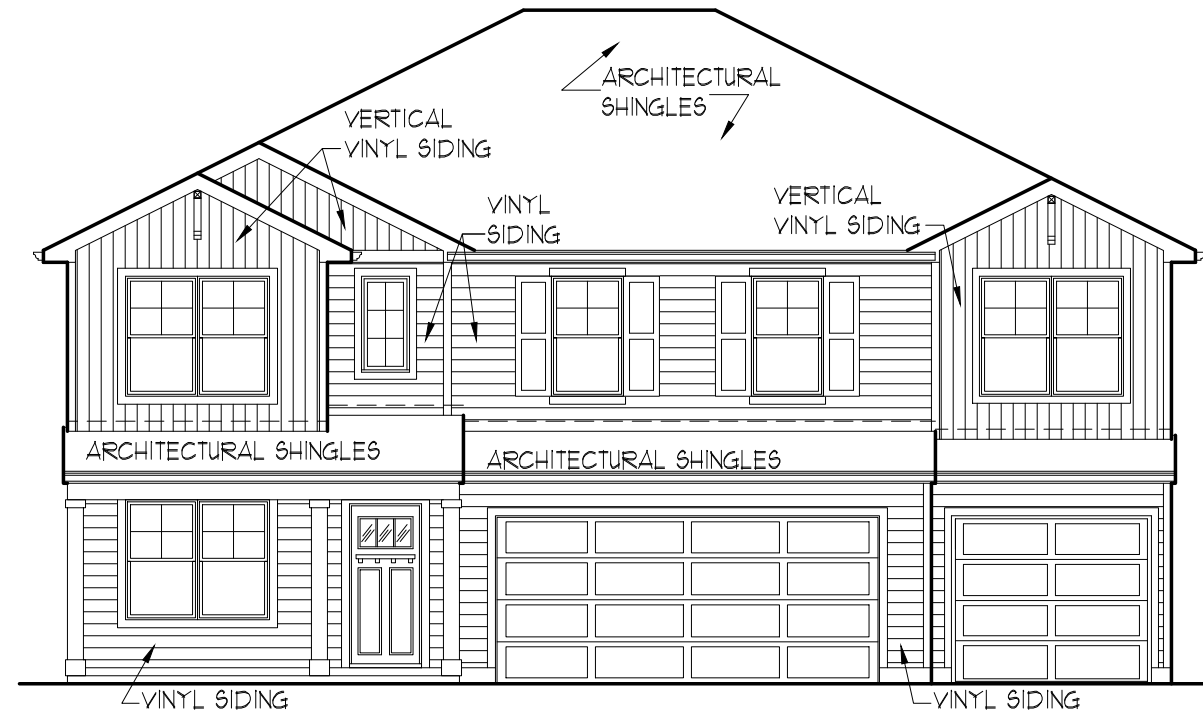
TYPICAL REAR ELEVATION



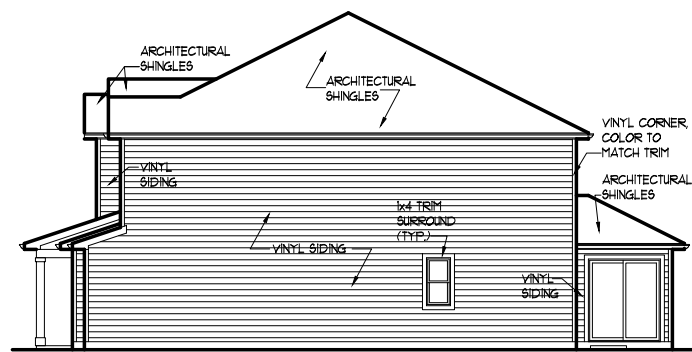
TYPICAL LEFT ELEVATION

X450 Emerson

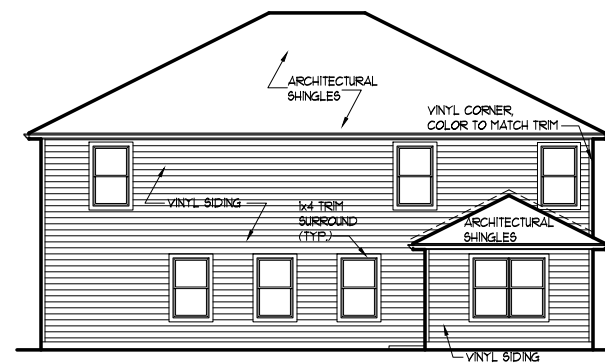
X-SERIES



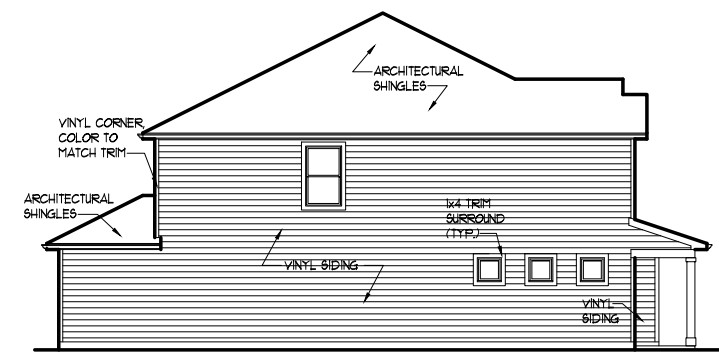
ELEVATION "D1"



TYPICAL RIGHT ELEVATION



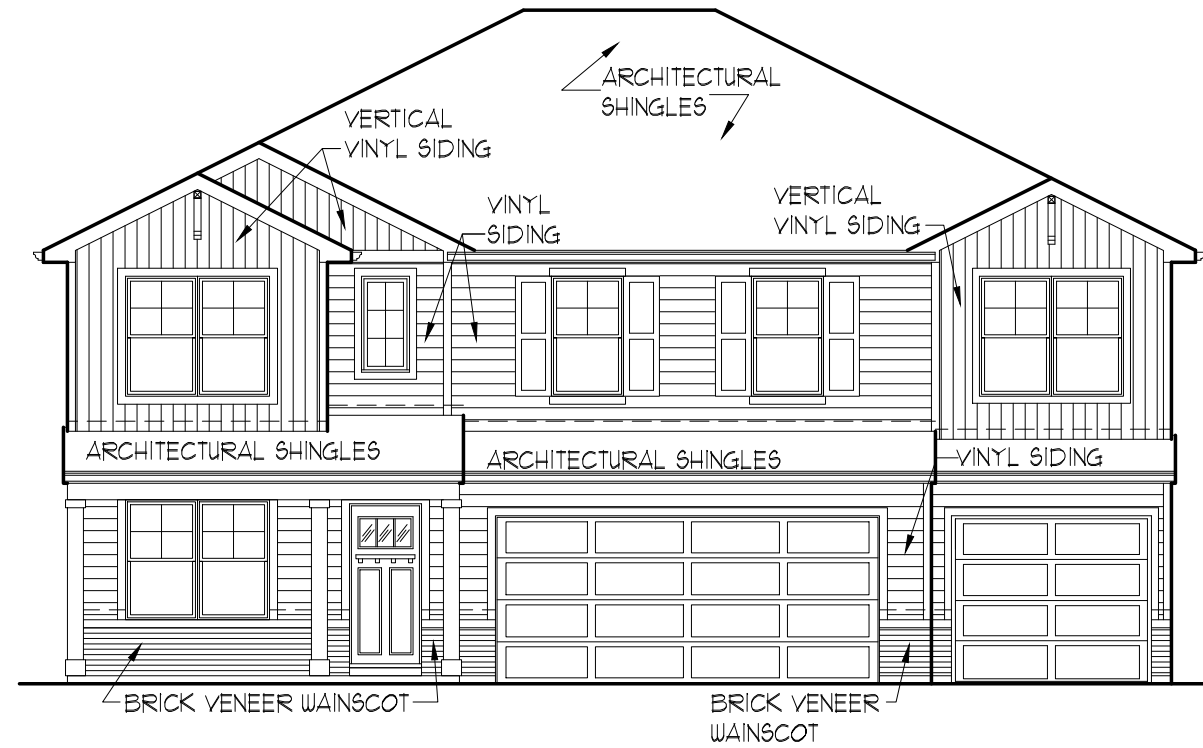
TYPICAL REAR ELEVATION



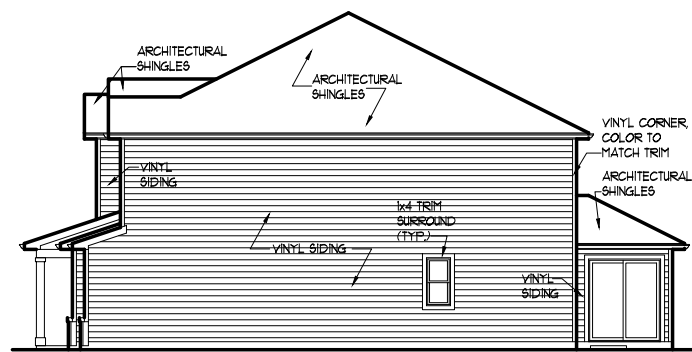
TYPICAL LEFT ELEVATION

X450 Emerson

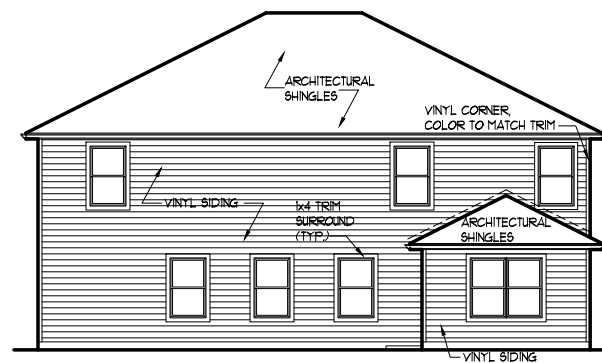
X-SERIES



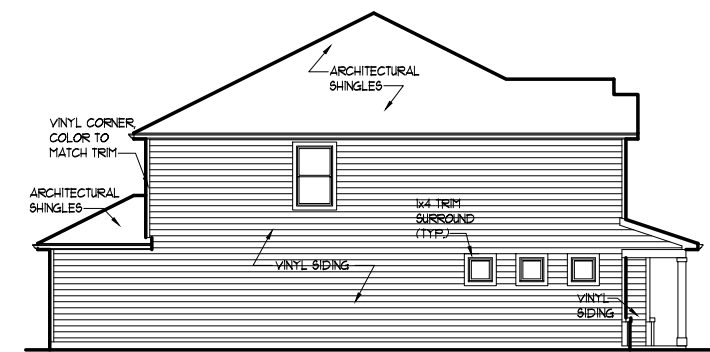
ELEVATION "D2"



TYPICAL RIGHT ELEVATION



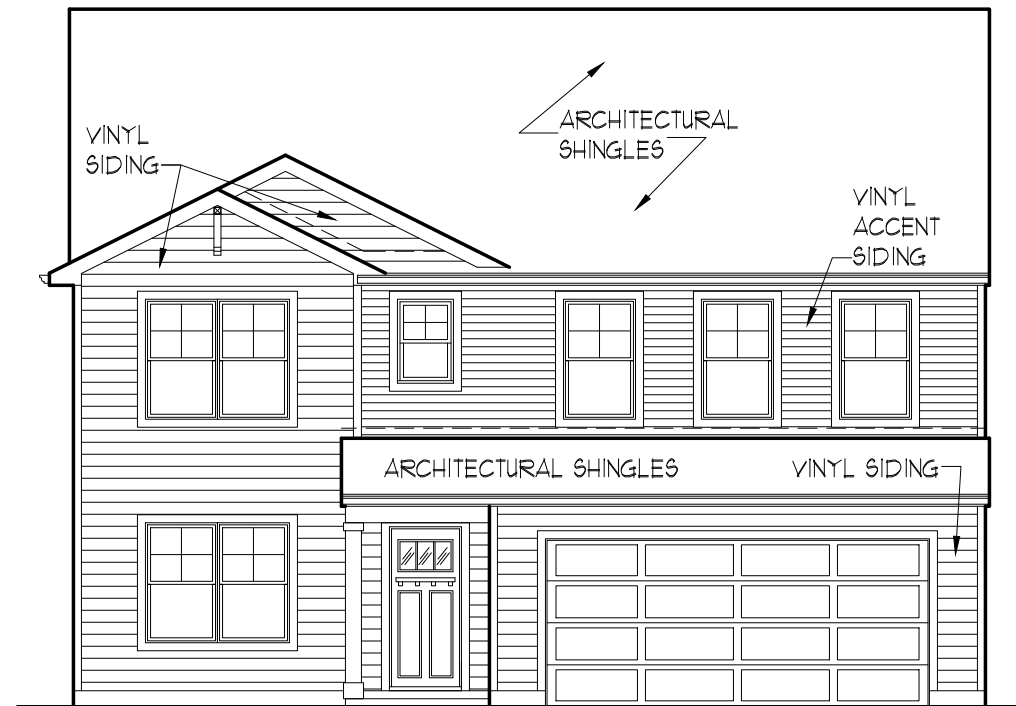
TYPICAL REAR ELEVATION



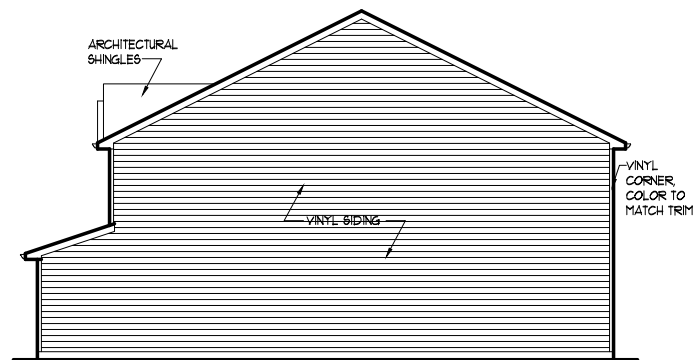
TYPICAL LEFT ELEVATION

X450 Emerson

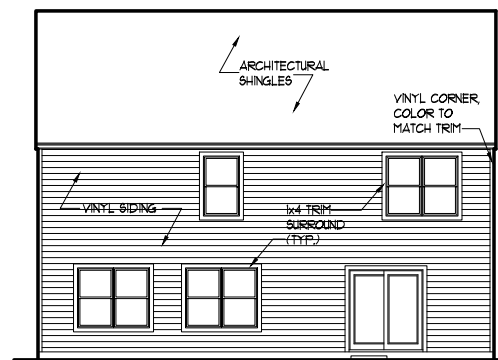
X-SERIES



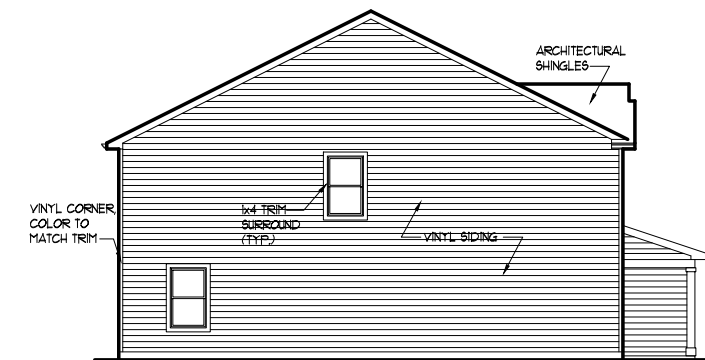
ELEVATION "A1"



TYPICAL RIGHT ELEVATION



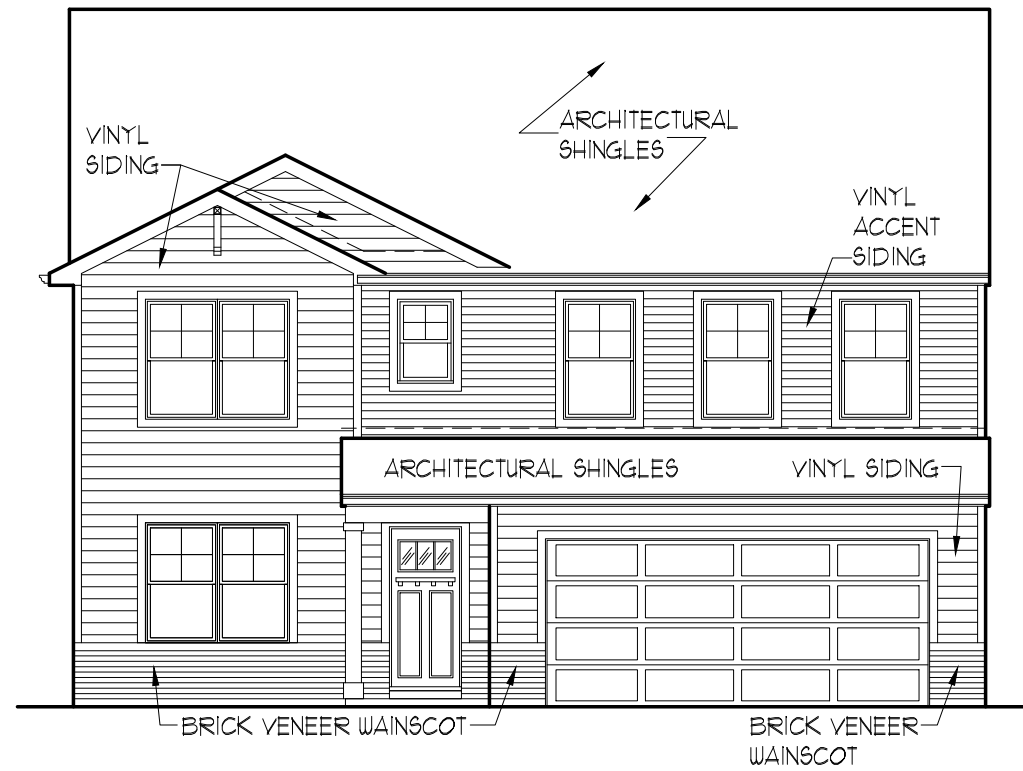
TYPICAL REAR ELEVATION



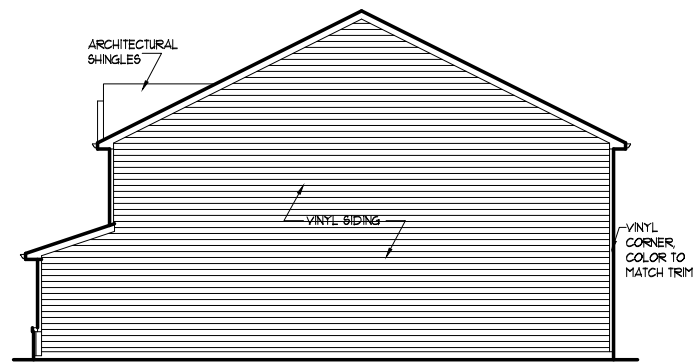
TYPICAL LEFT ELEVATION

X451 Coventry

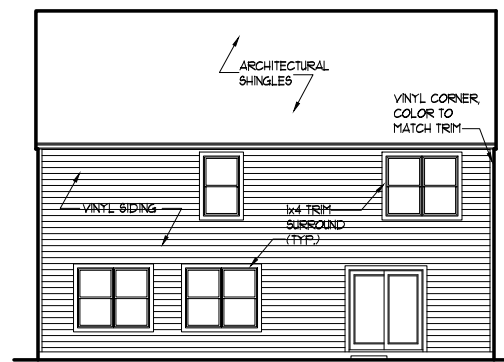
X-SERIES



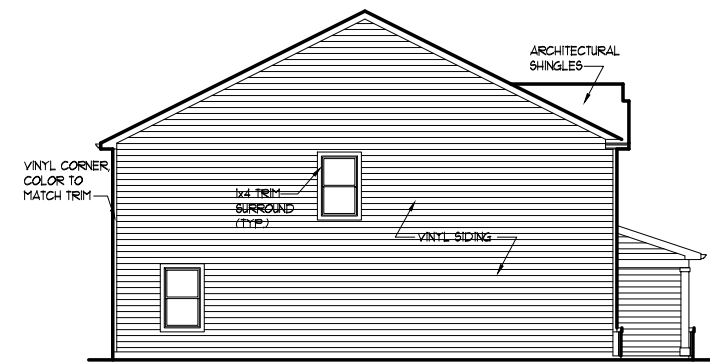
ELEVATION "A2"



TYPICAL RIGHT ELEVATION



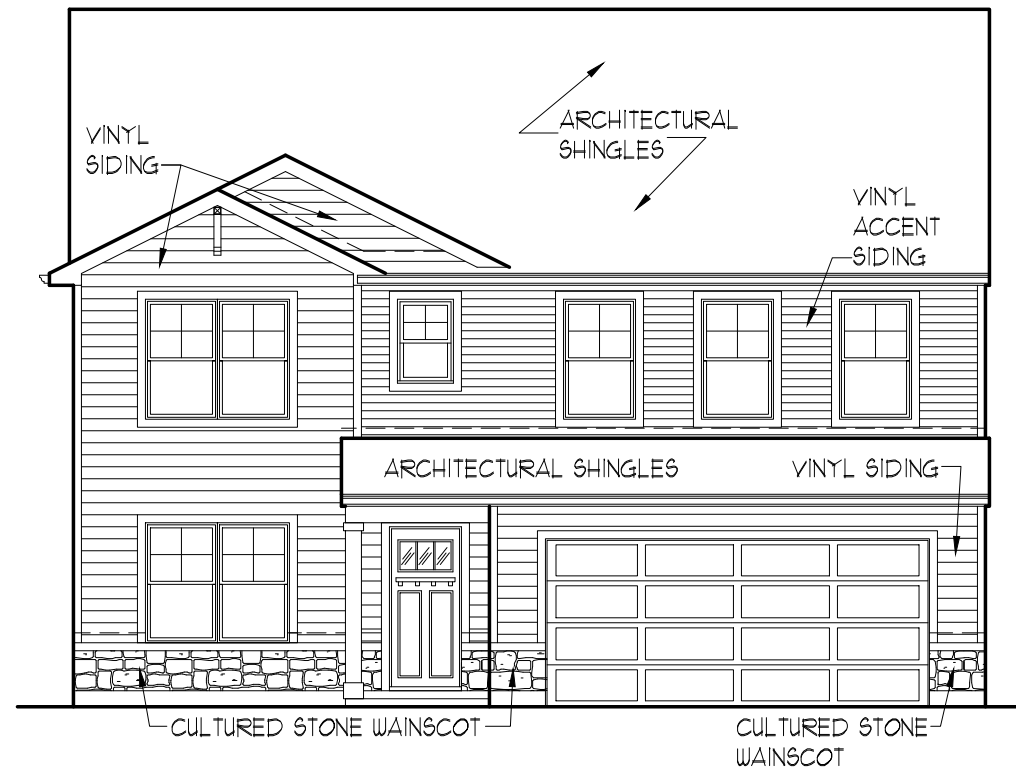
TYPICAL REAR ELEVATION



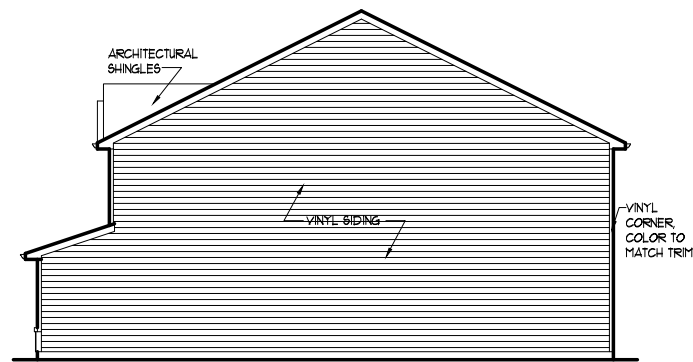
TYPICAL LEFT ELEVATION

X451 Coventry

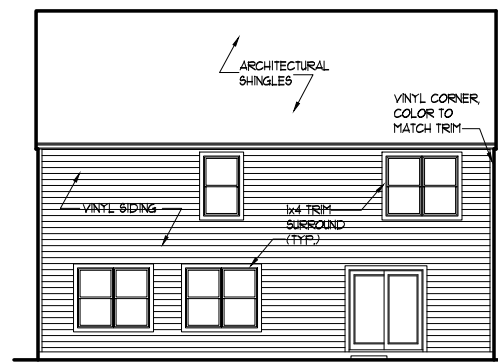
X-SERIES



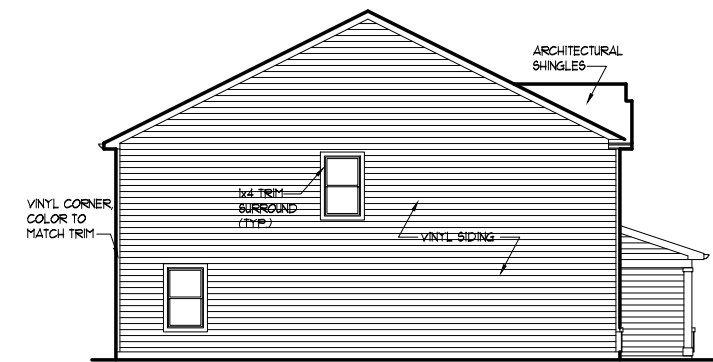
ELEVATION "A3"



TYPICAL RIGHT ELEVATION



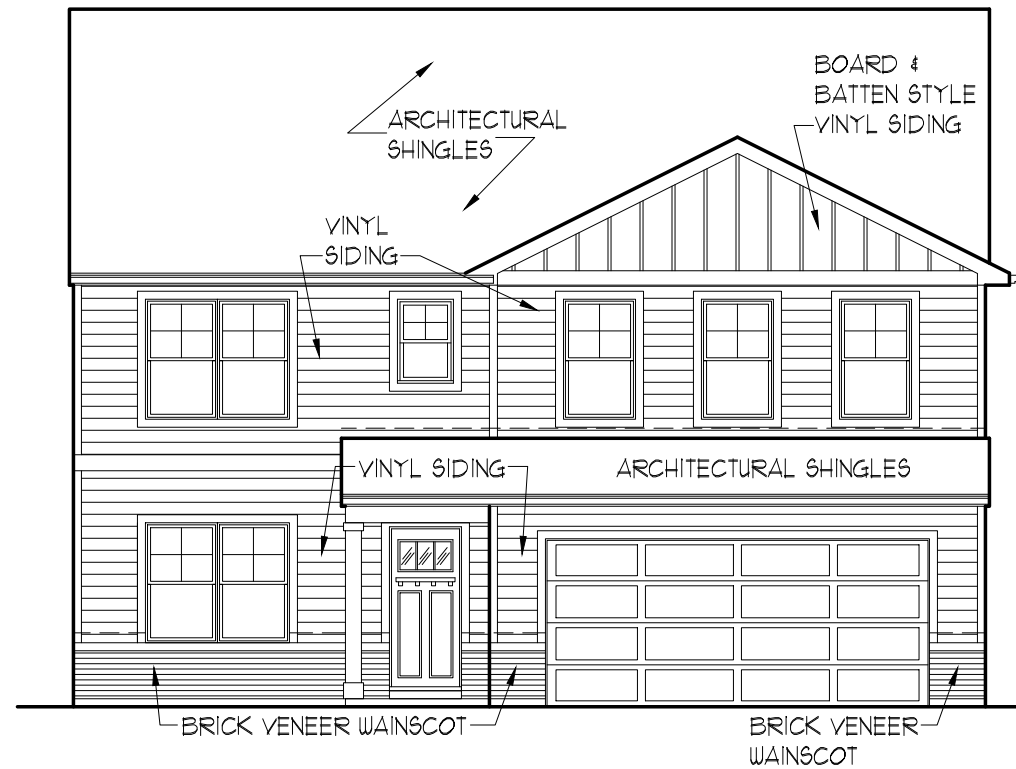
TYPICAL REAR ELEVATION



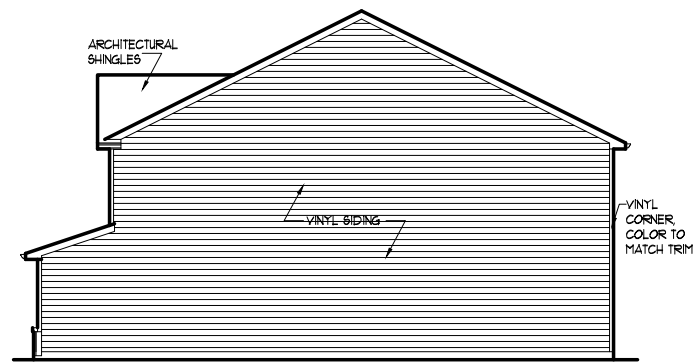
TYPICAL LEFT ELEVATION

X451 Coventry

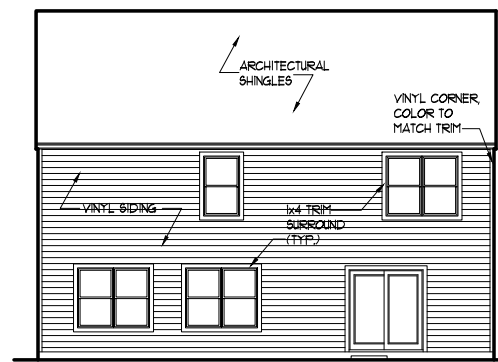
X-SERIES



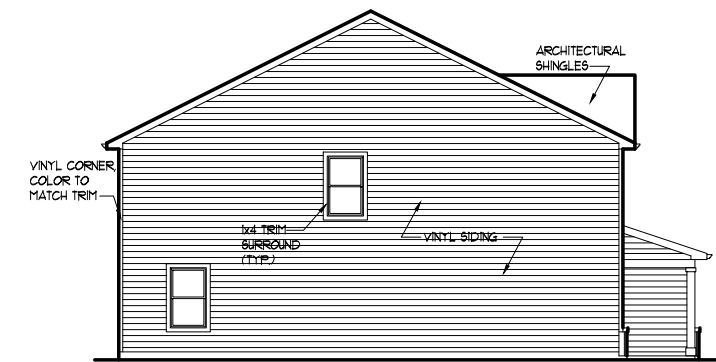
ELEVATION "B2"



TYPICAL RIGHT ELEVATION



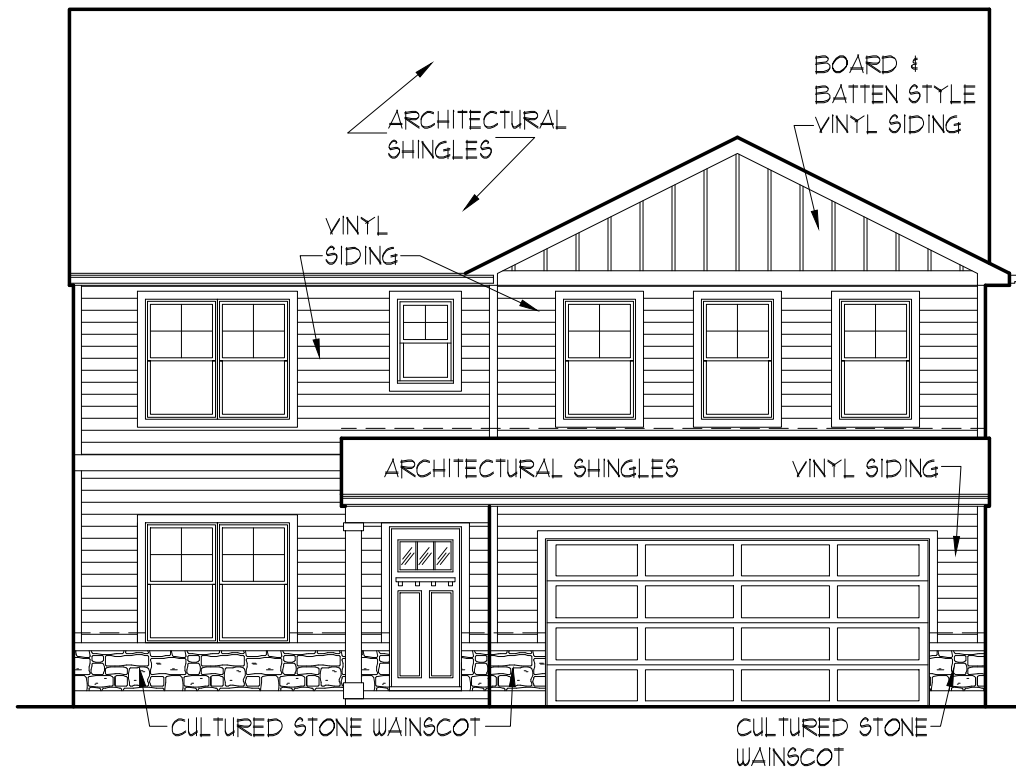
TYPICAL REAR ELEVATION



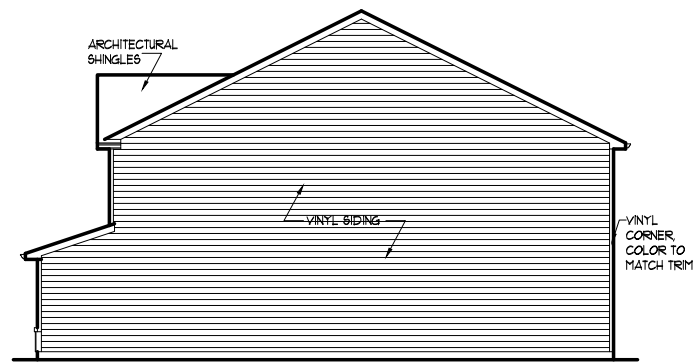
TYPICAL LEFT ELEVATION

X451 Coventry

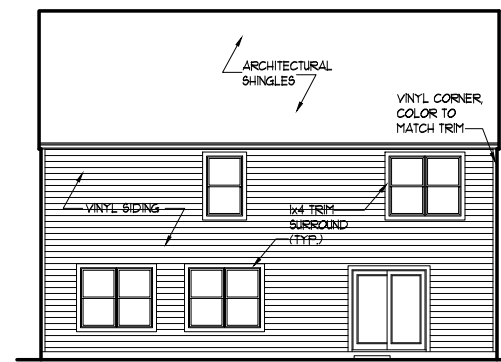
X-SERIES



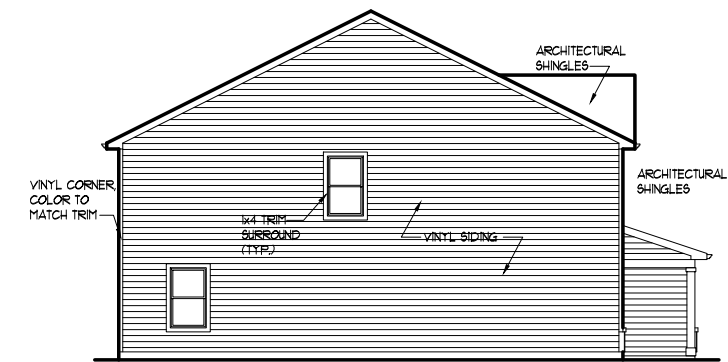
ELEVATION "B3"



TYPICAL RIGHT ELEVATION



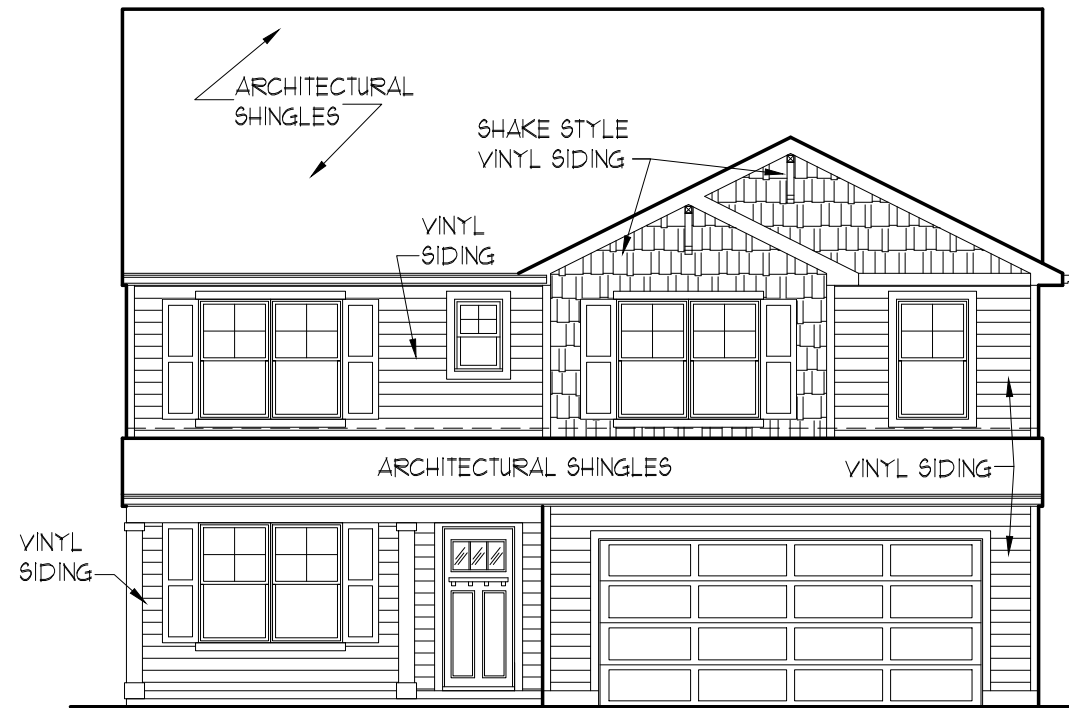
TYPICAL REAR ELEVATION



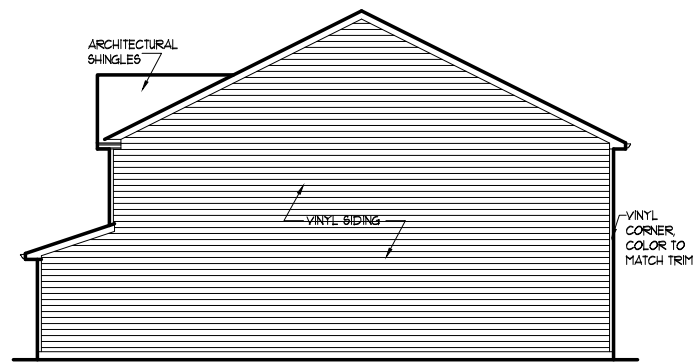
TYPICAL LEFT ELEVATION

X451 Coventry

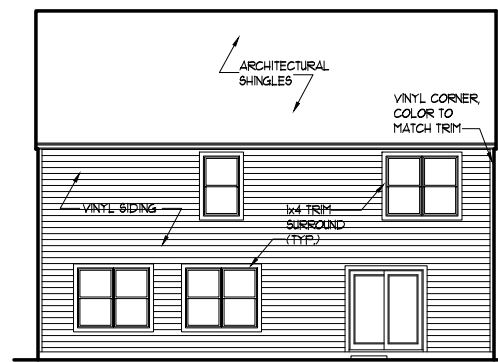
X-SERIES



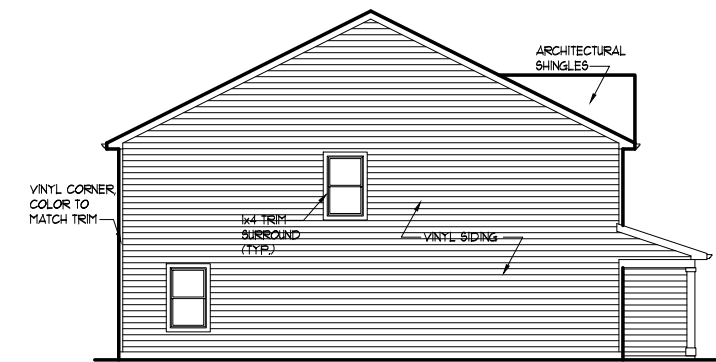
ELEVATION "C1"



TYPICAL RIGHT ELEVATION



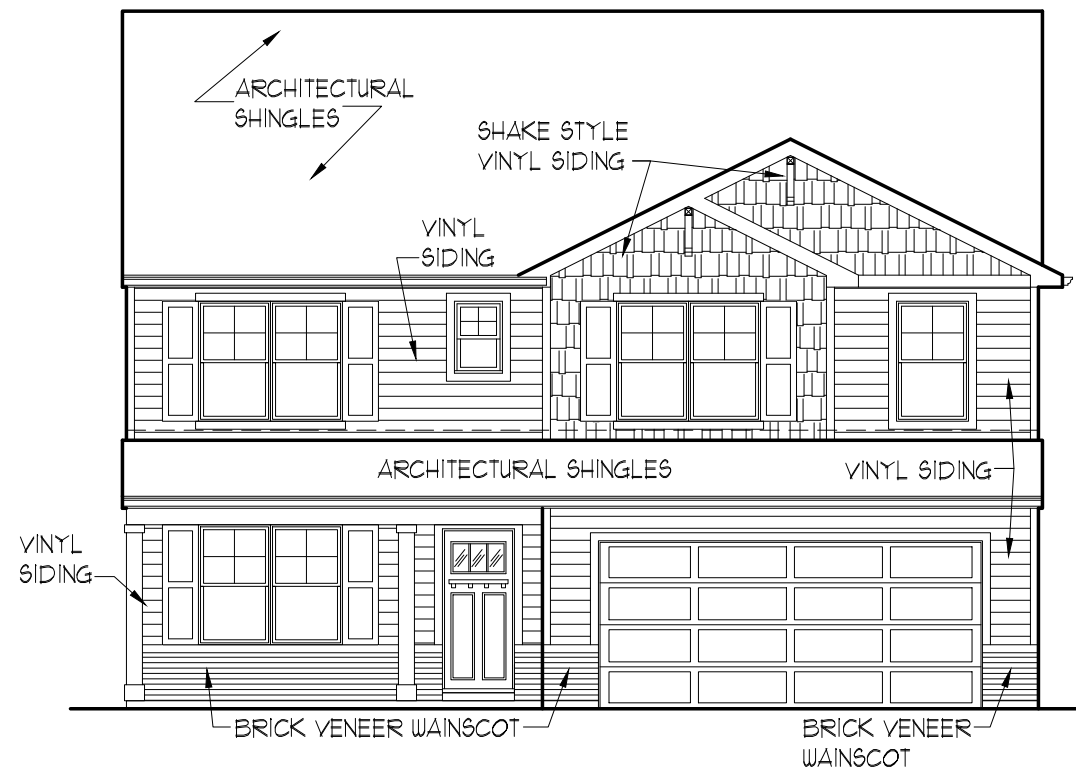
TYPICAL REAR ELEVATION



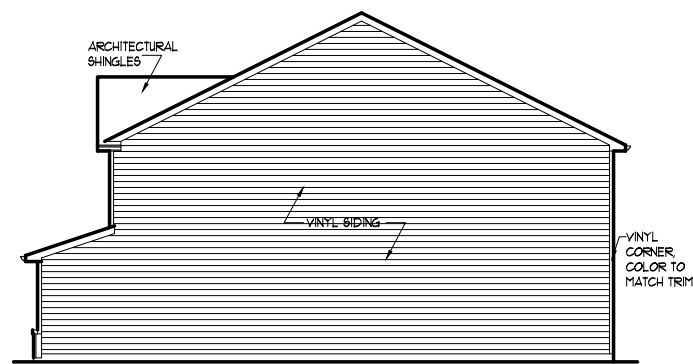
TYPICAL LEFT ELEVATION

X451 Coventry

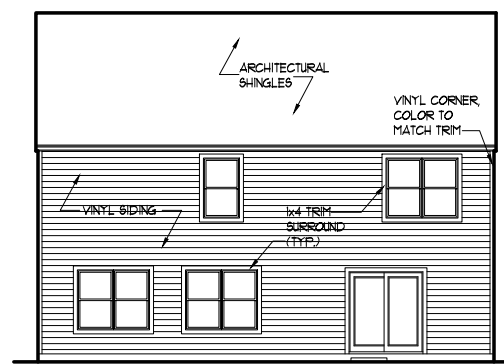
X-SERIES



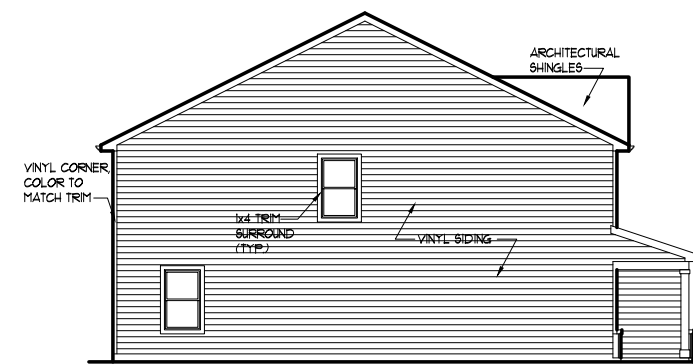
ELEVATION "C2"



TYPICAL RIGHT ELEVATION



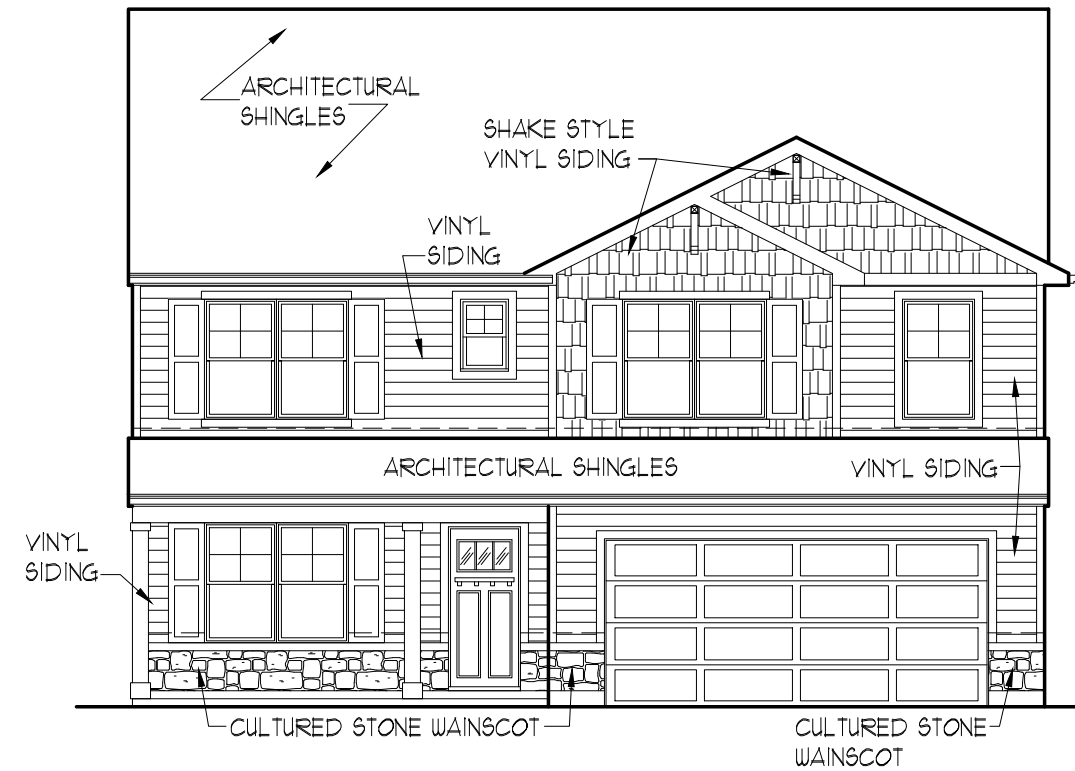
TYPICAL REAR ELEVATION



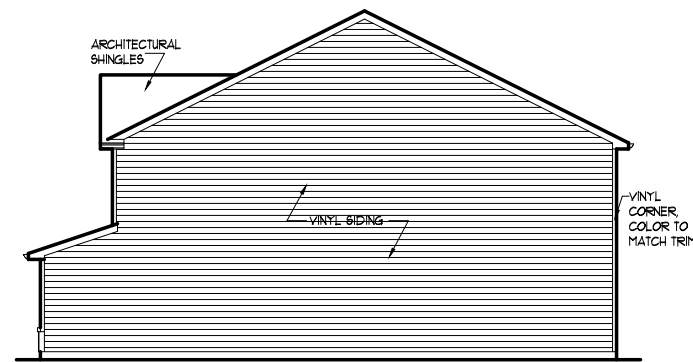
TYPICAL LEFT ELEVATION

X451 Coventry

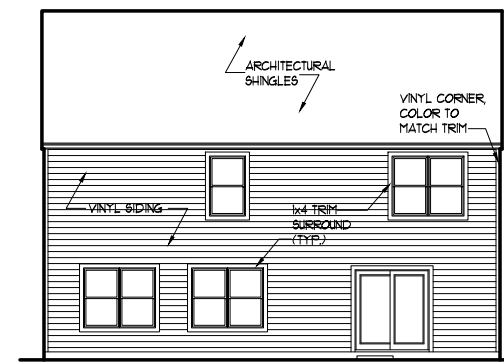
X-SERIES



ELEVATION "C3"



TYPICAL RIGHT ELEVATION



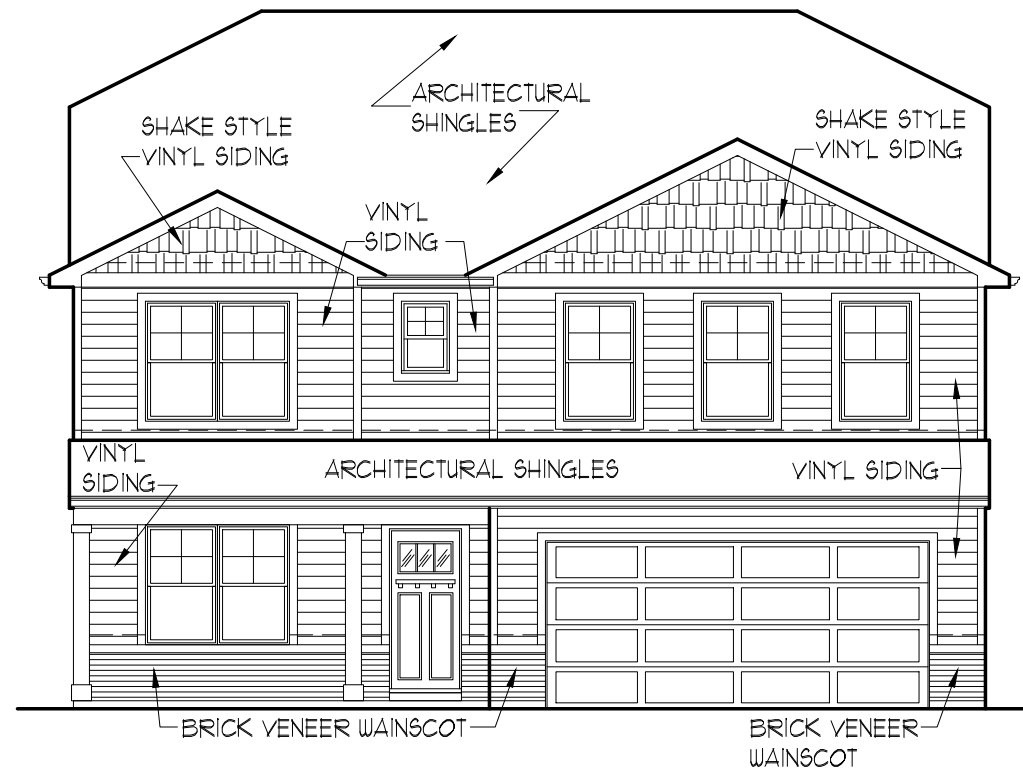
TYPICAL REAR ELEVATION



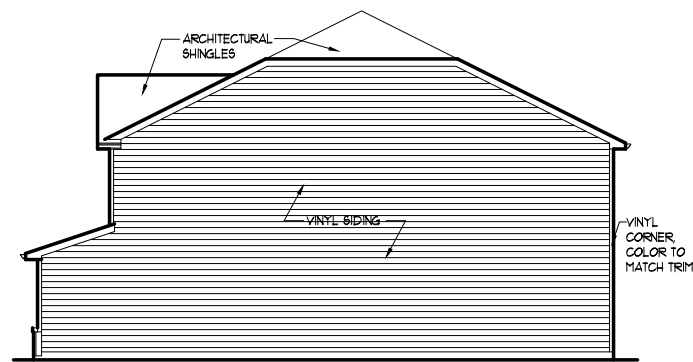
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X451 Coventry

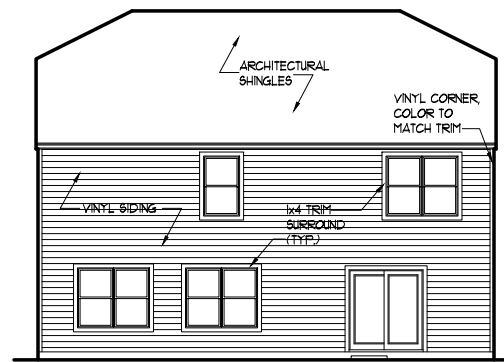
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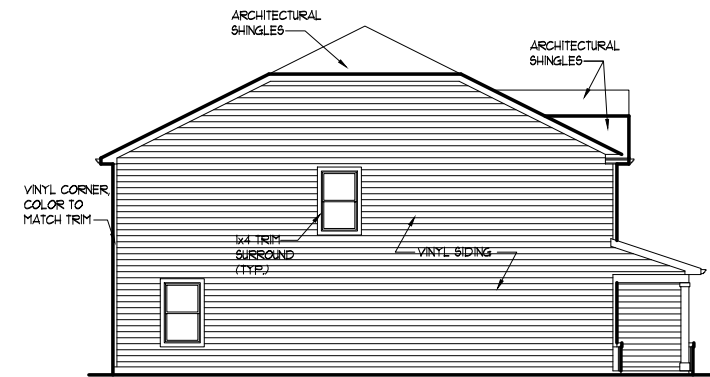
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TYPICAL RIGHT ELEVATION



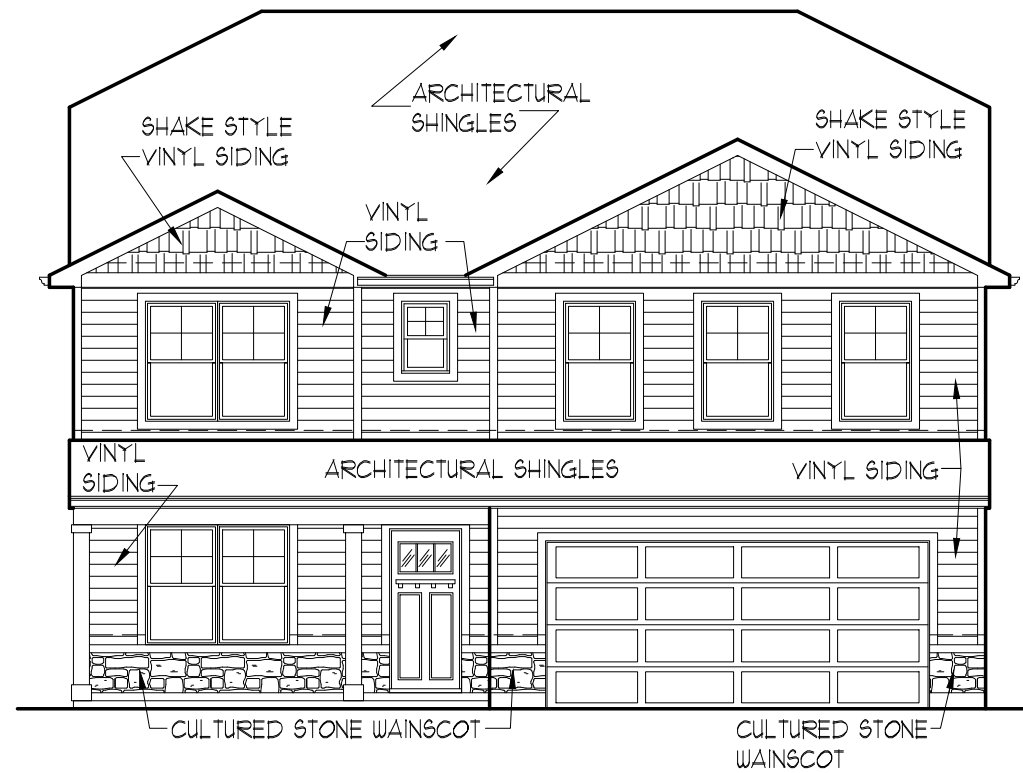
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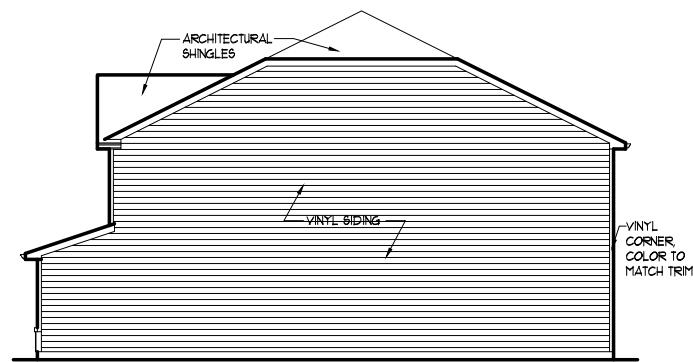
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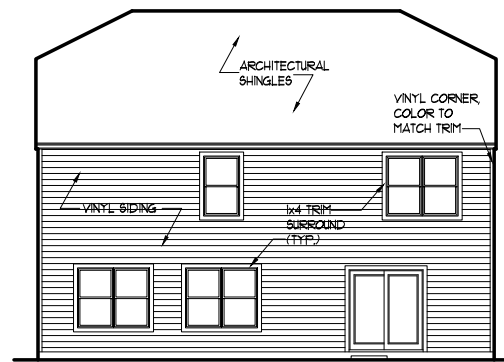
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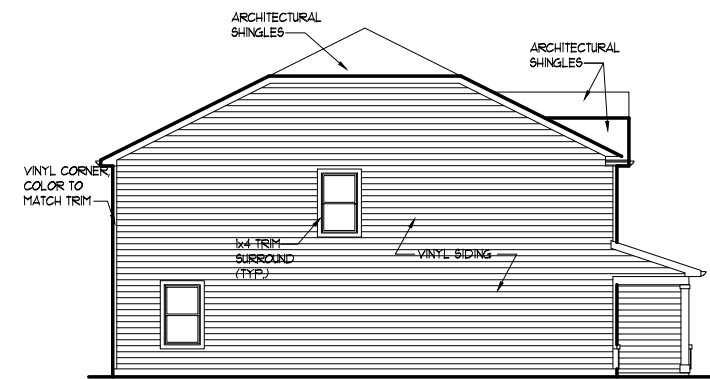
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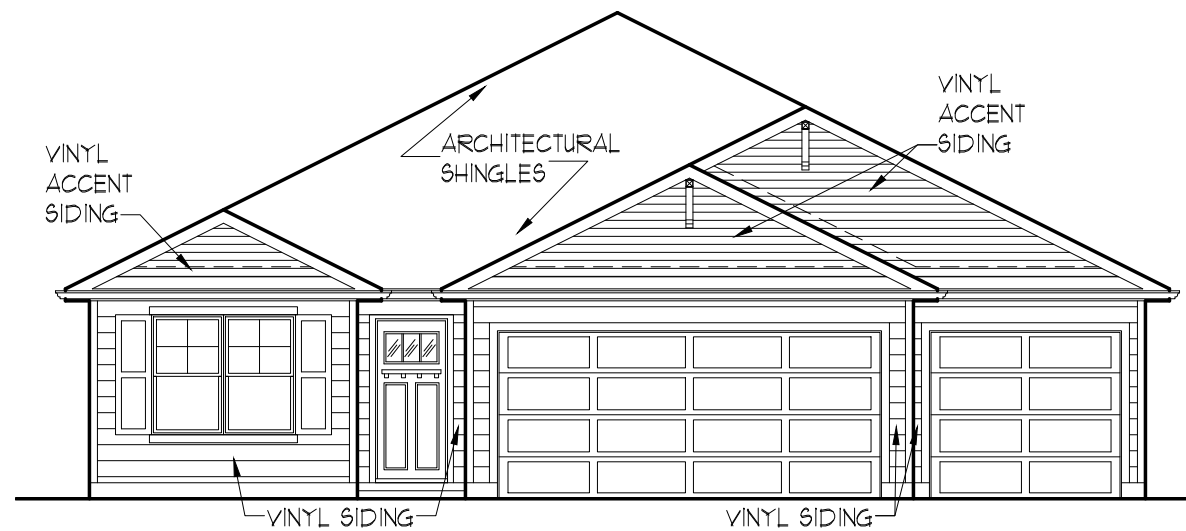
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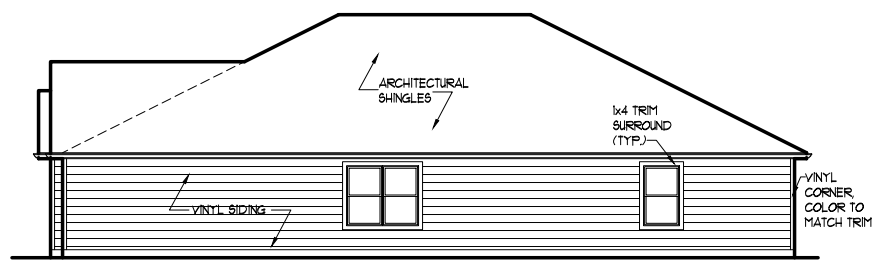
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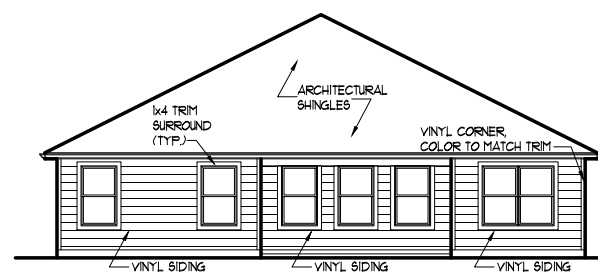
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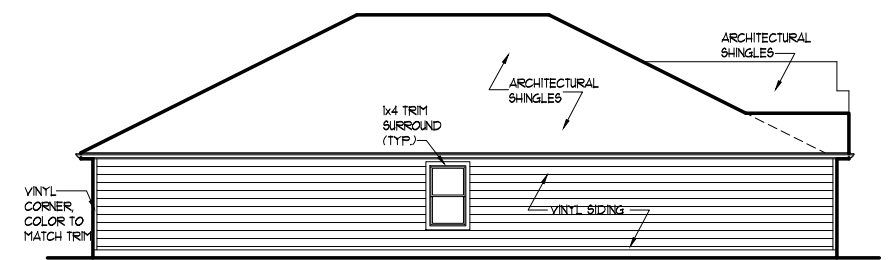
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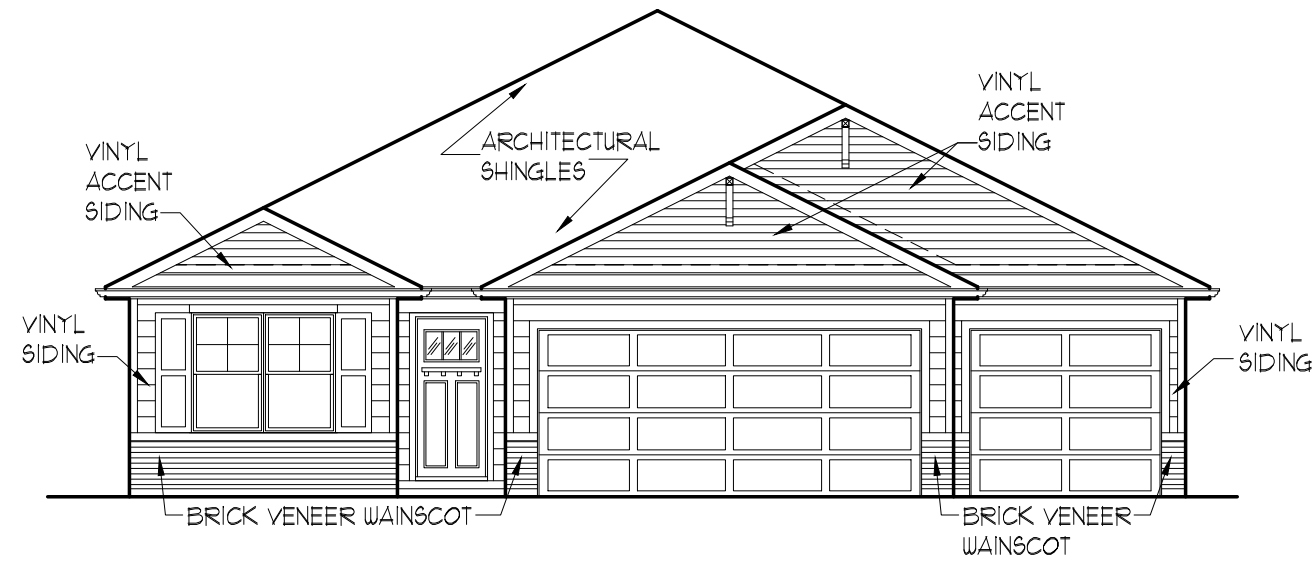
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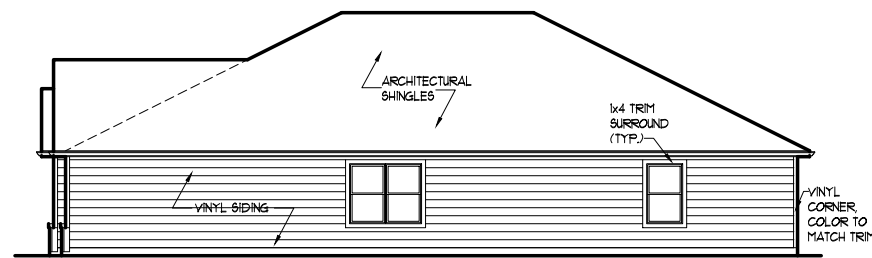
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X453 **Fairfield**

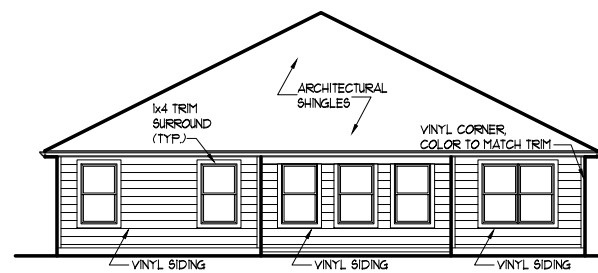
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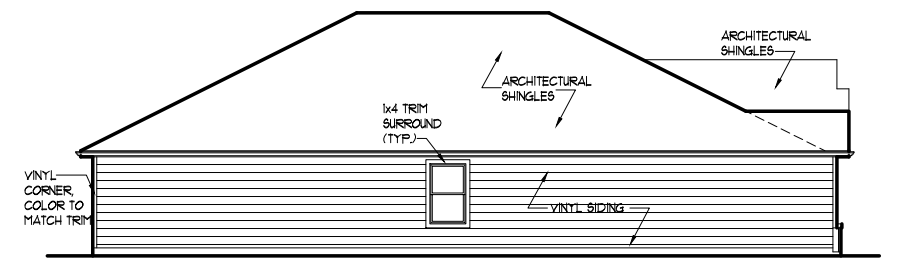
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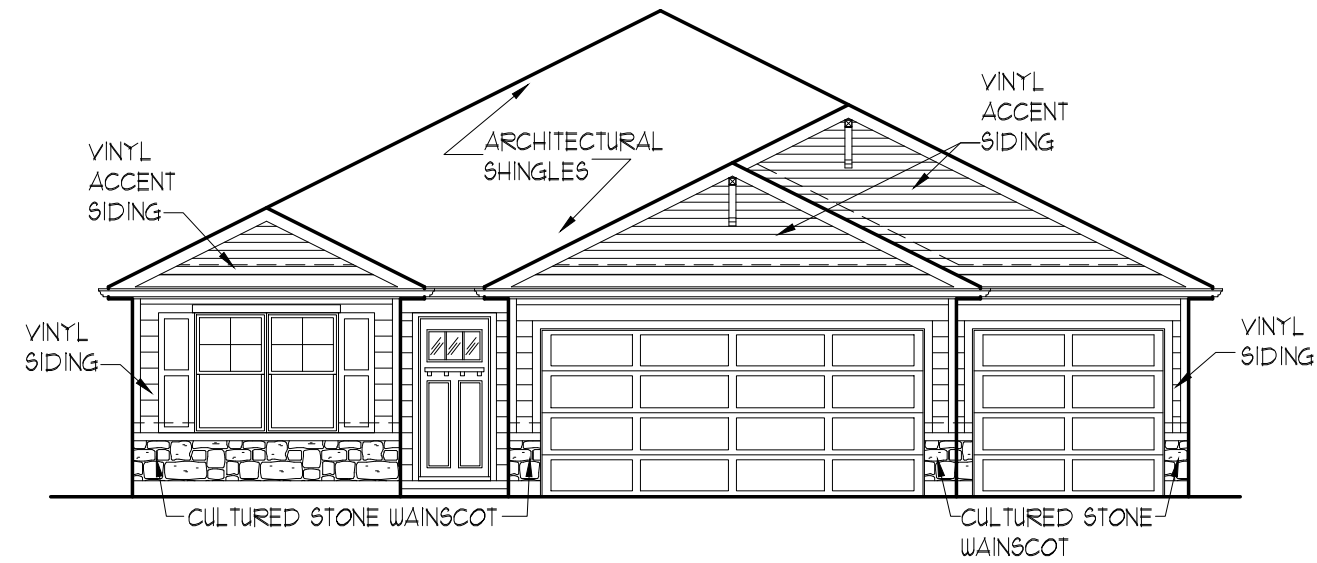
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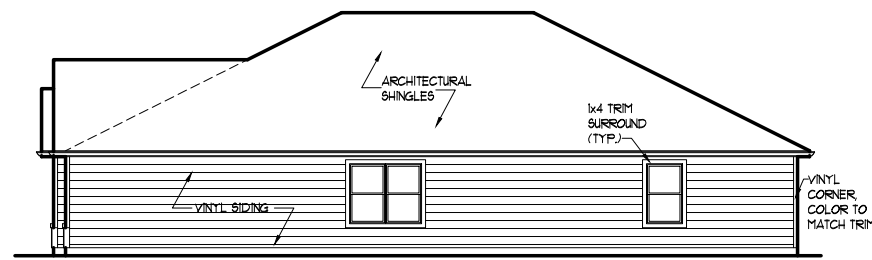
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X453 Fairfield

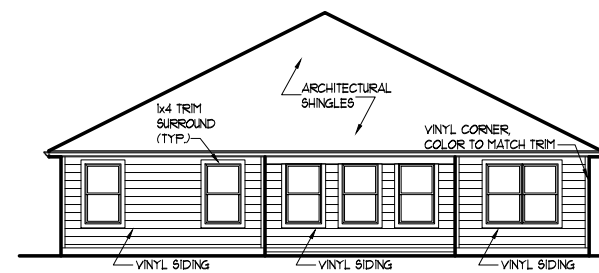
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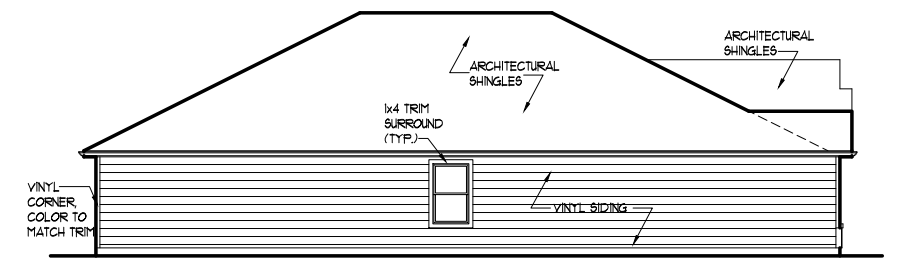
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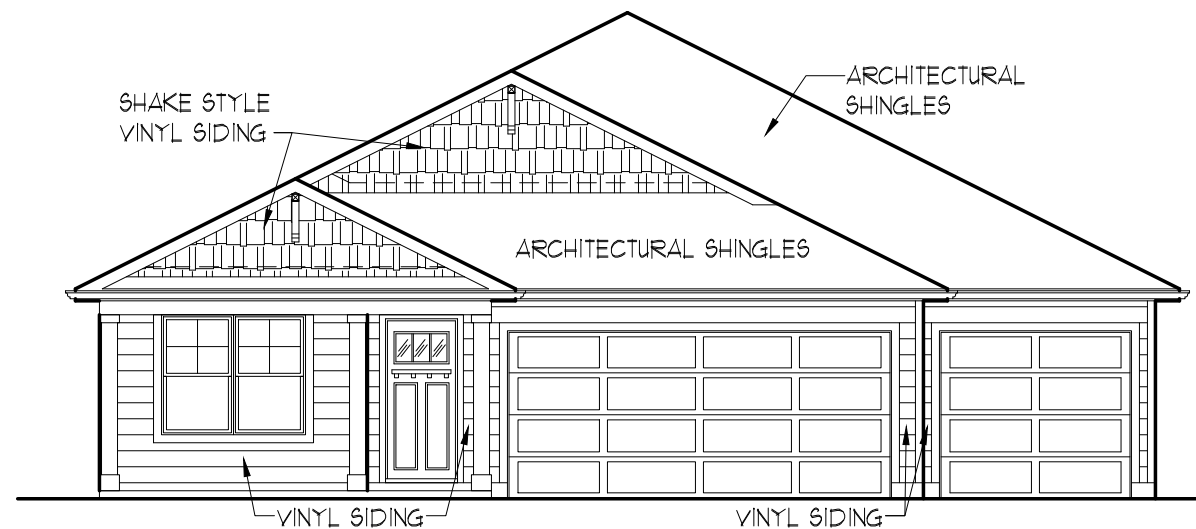
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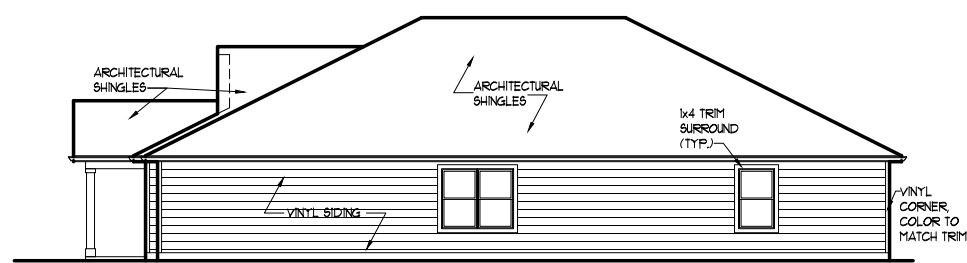
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X453 Fairfield

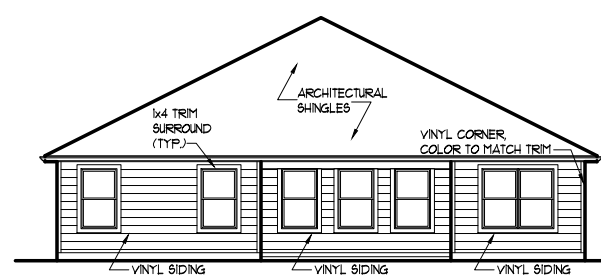
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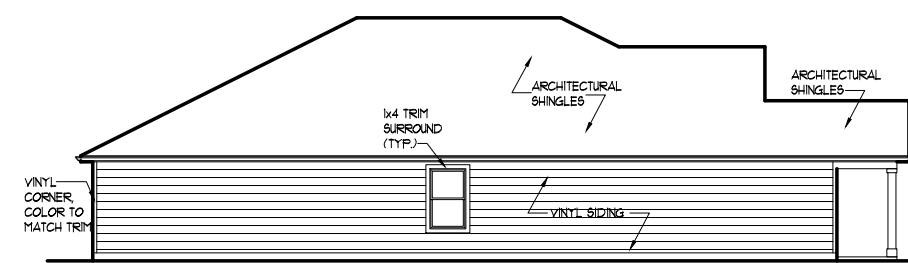
ELEVATION "BI"



TYPICAL RIGHT ELEVATION



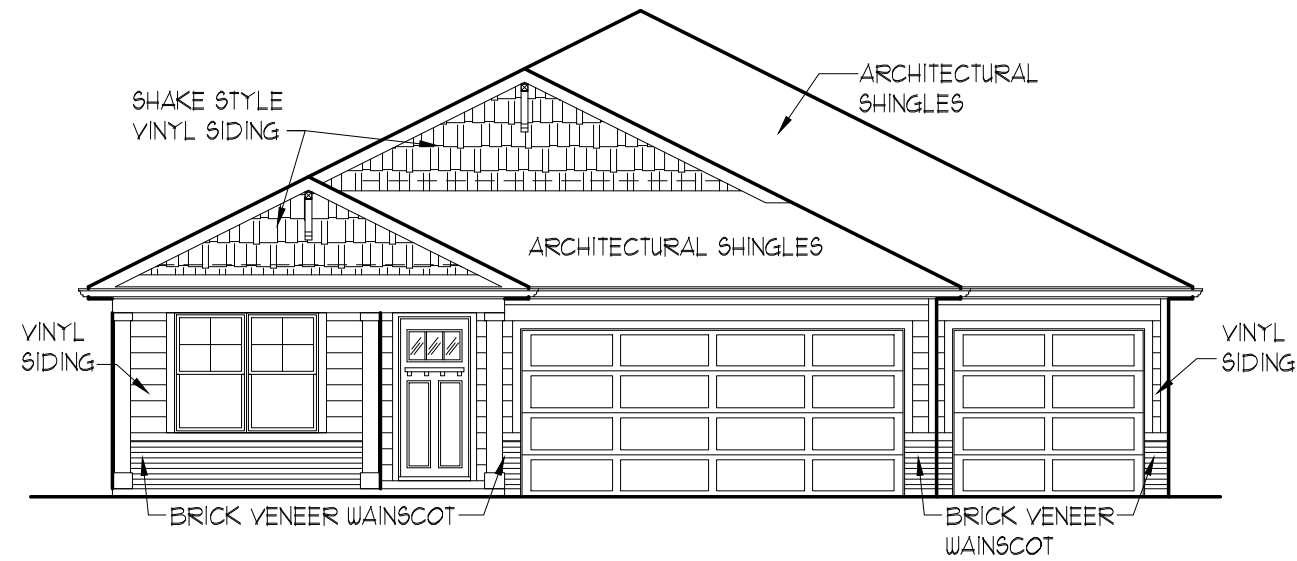
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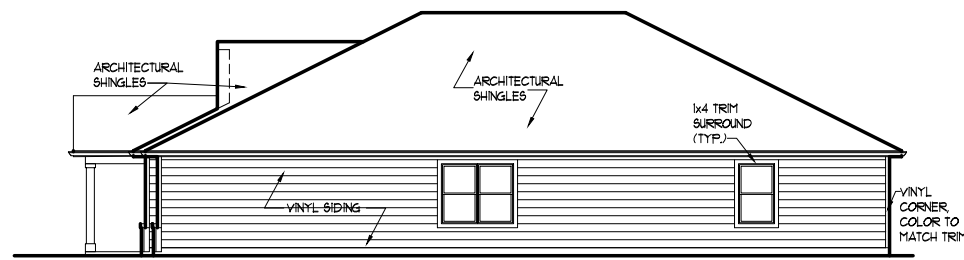
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X453 Fairfield

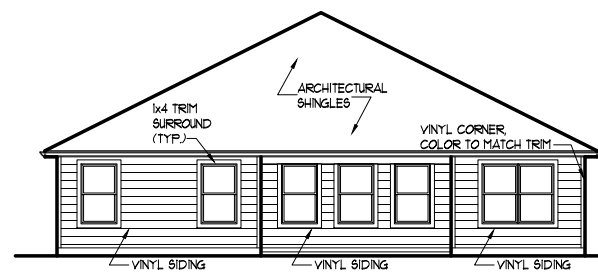
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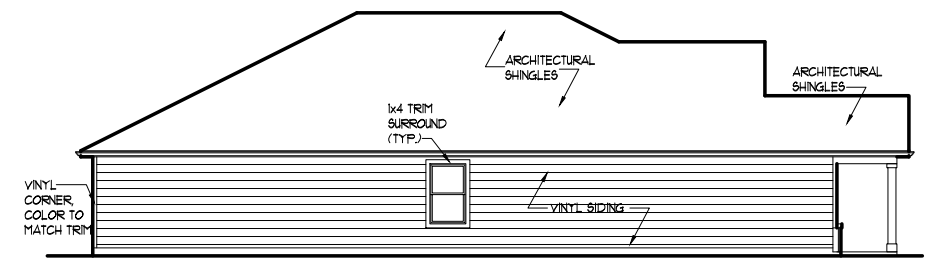
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TYPICAL RIGHT ELEVATION



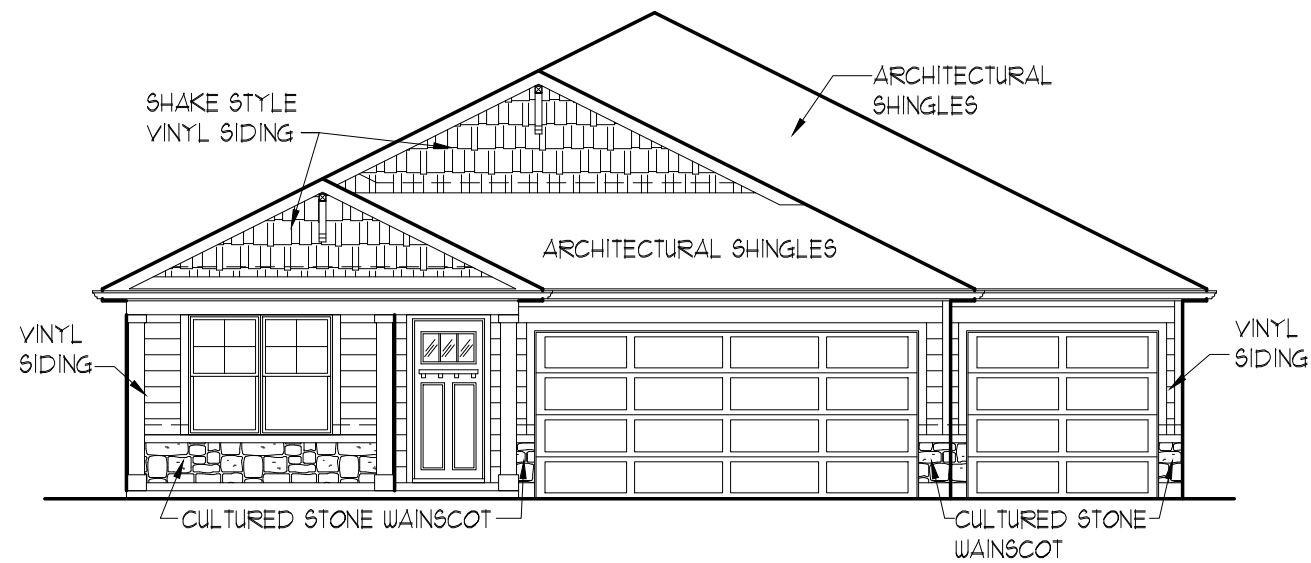
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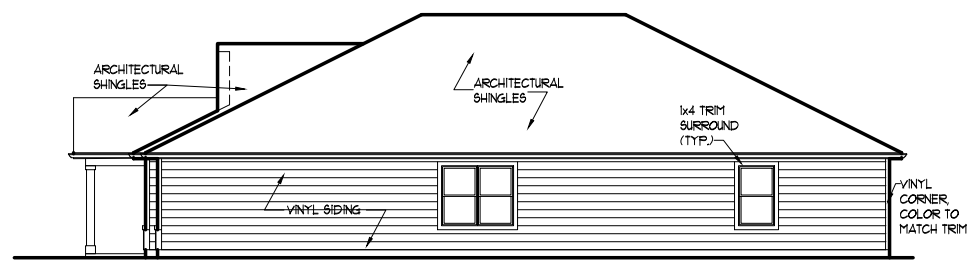
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X453 Fairfield

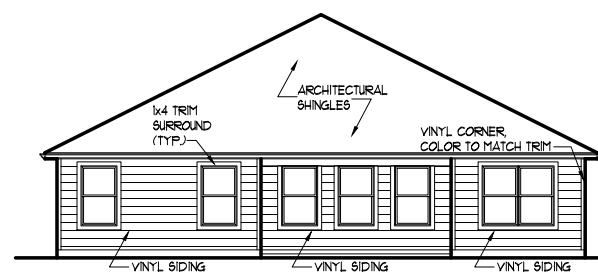
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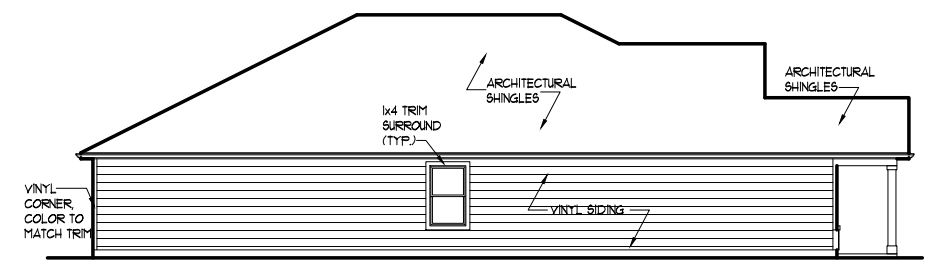
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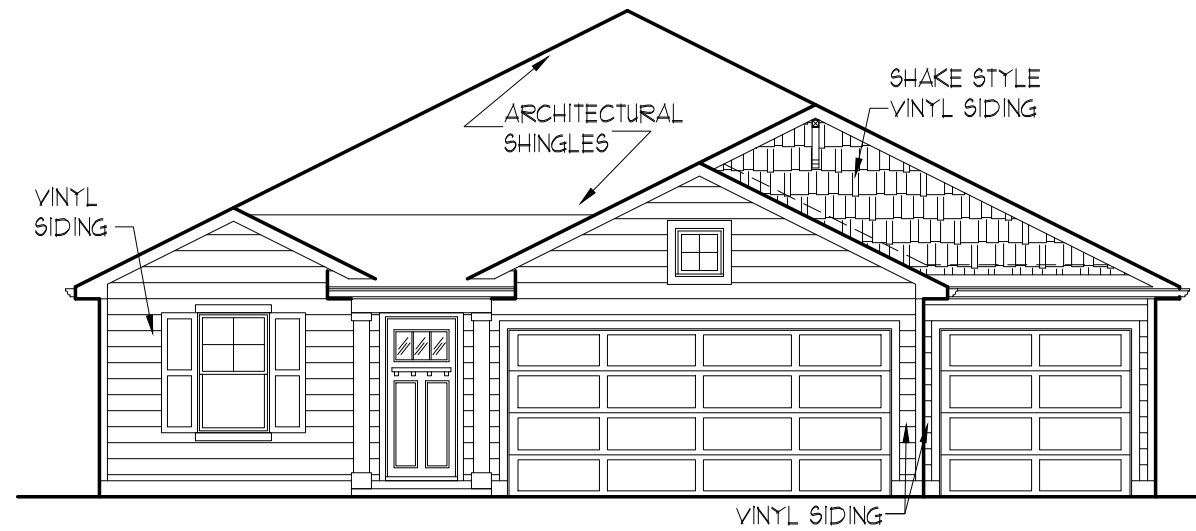
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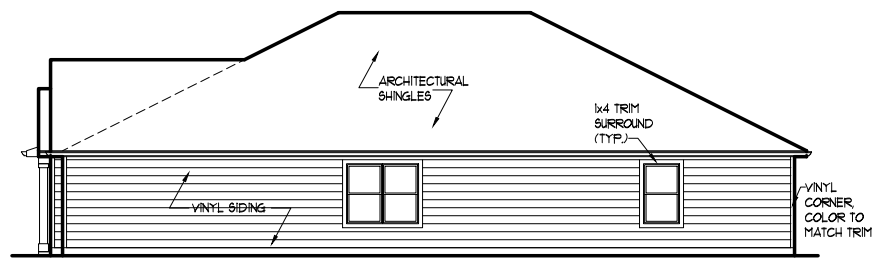
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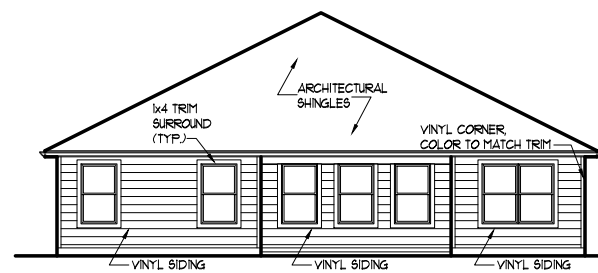
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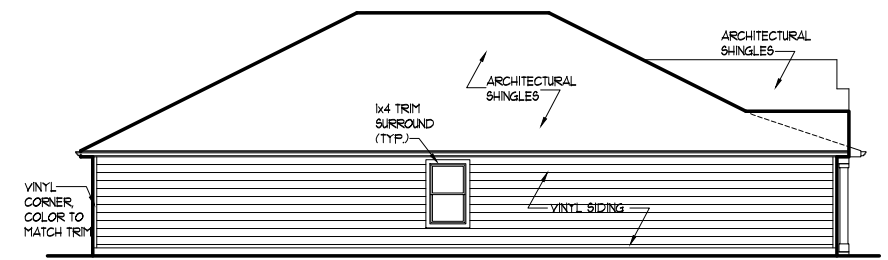
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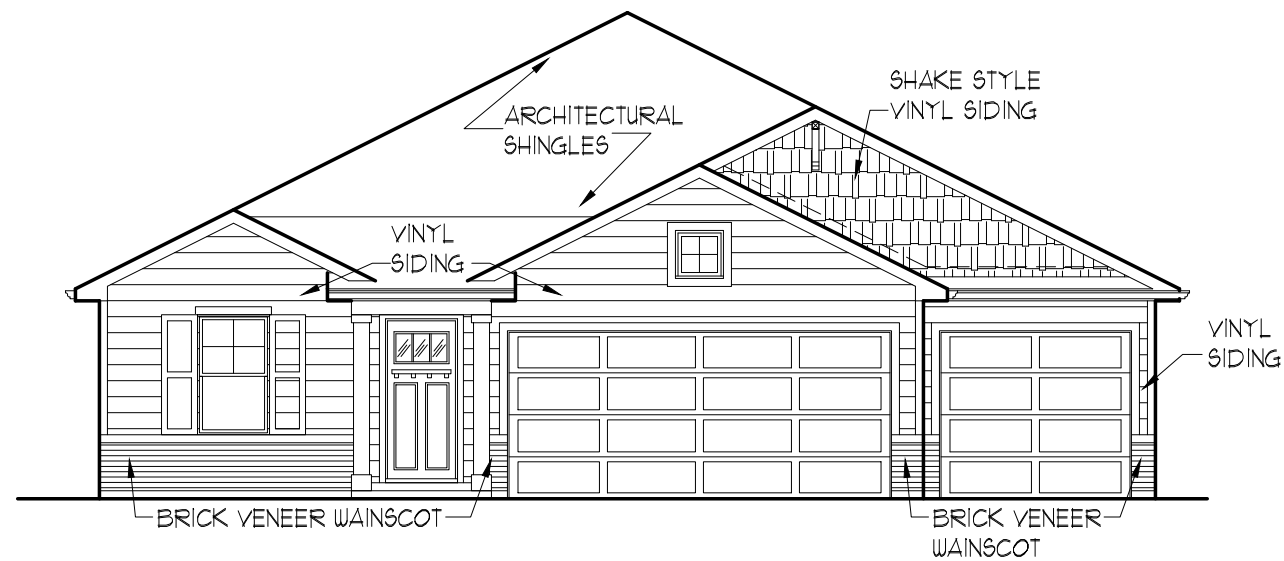
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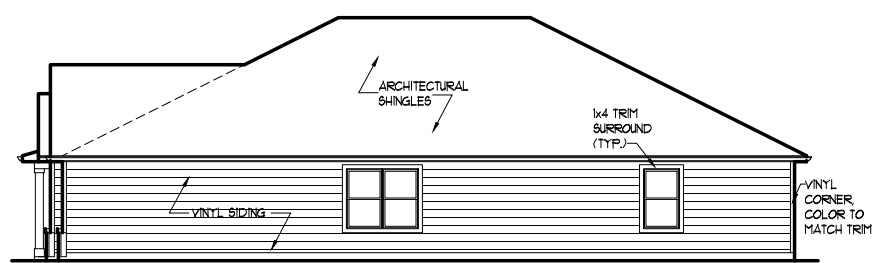
TYPICAL LEFT ELEVATION

X453 Fairfield

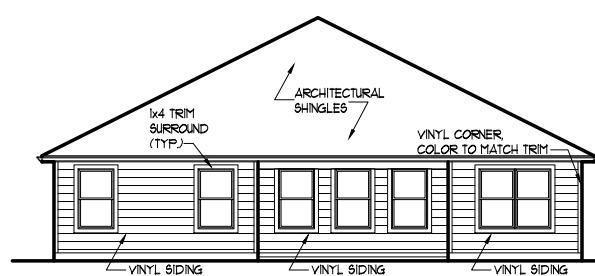
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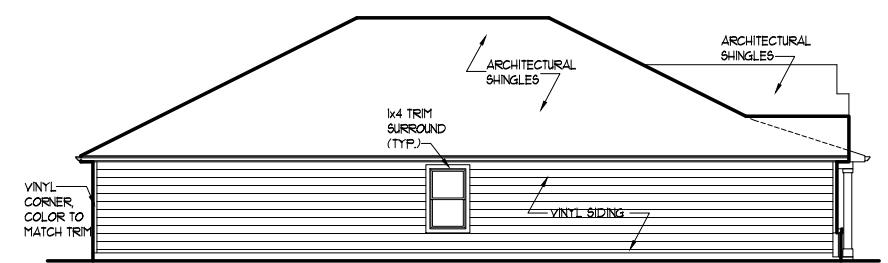
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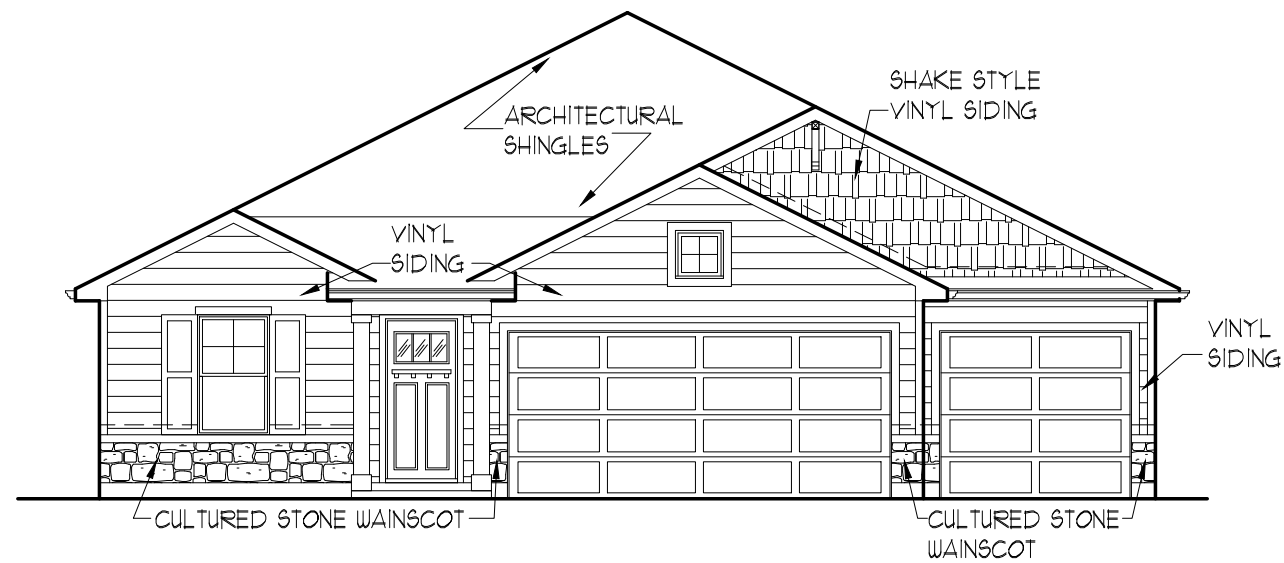
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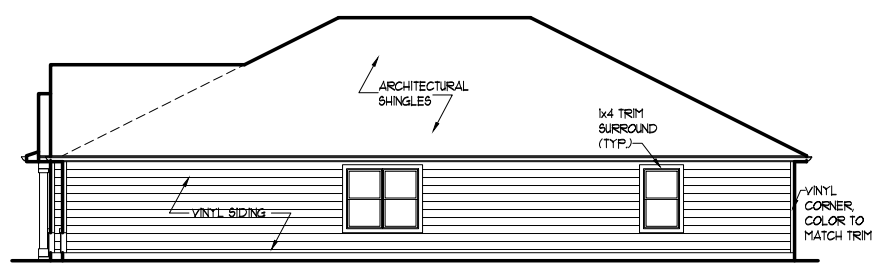
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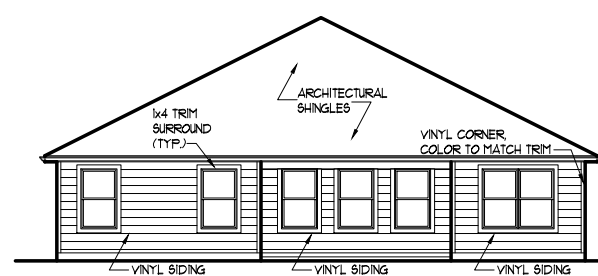
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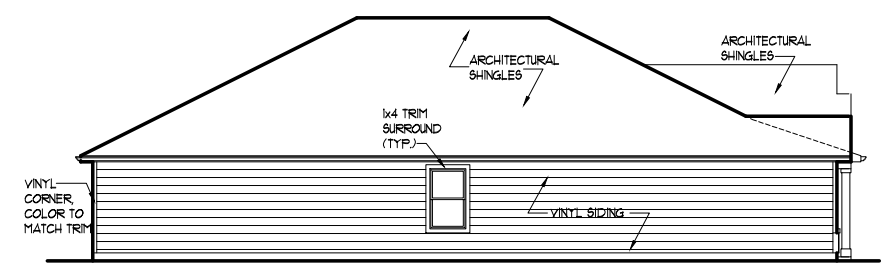
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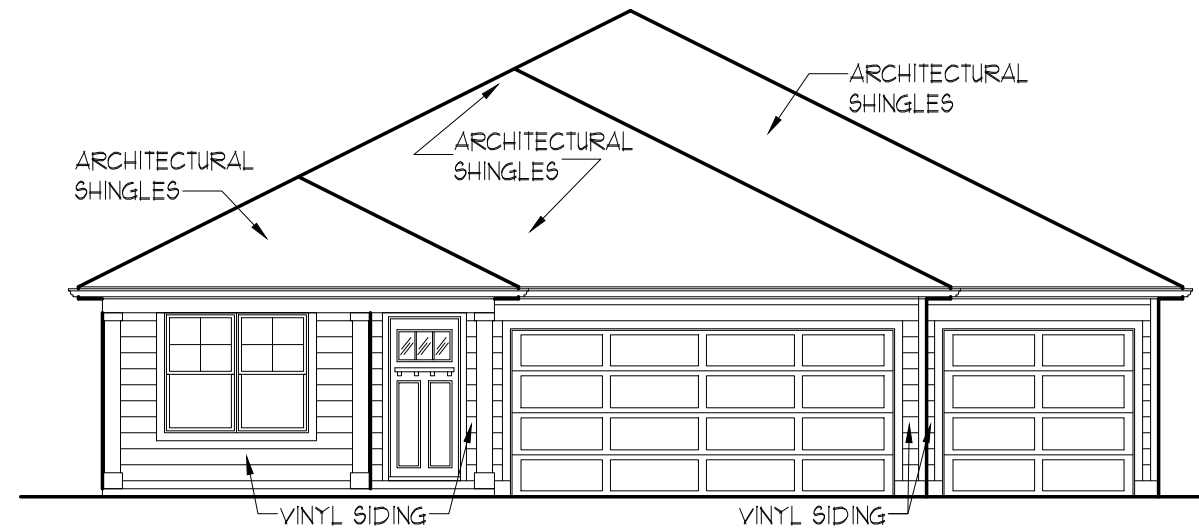
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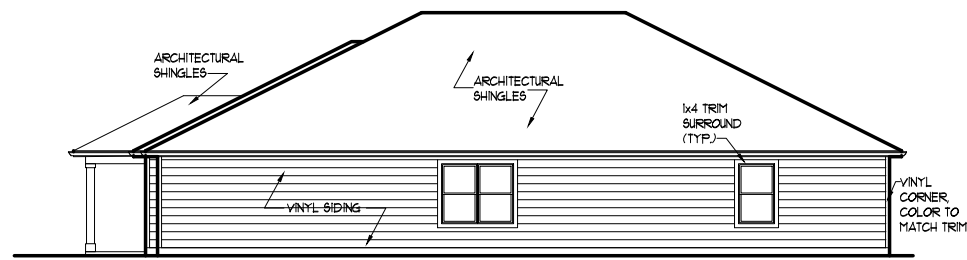
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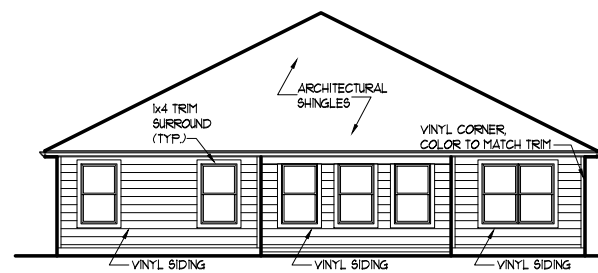
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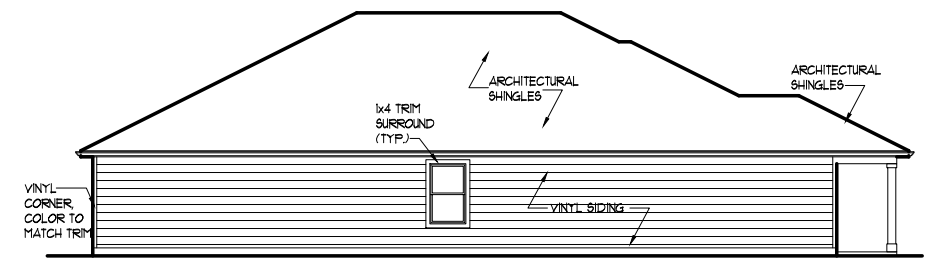
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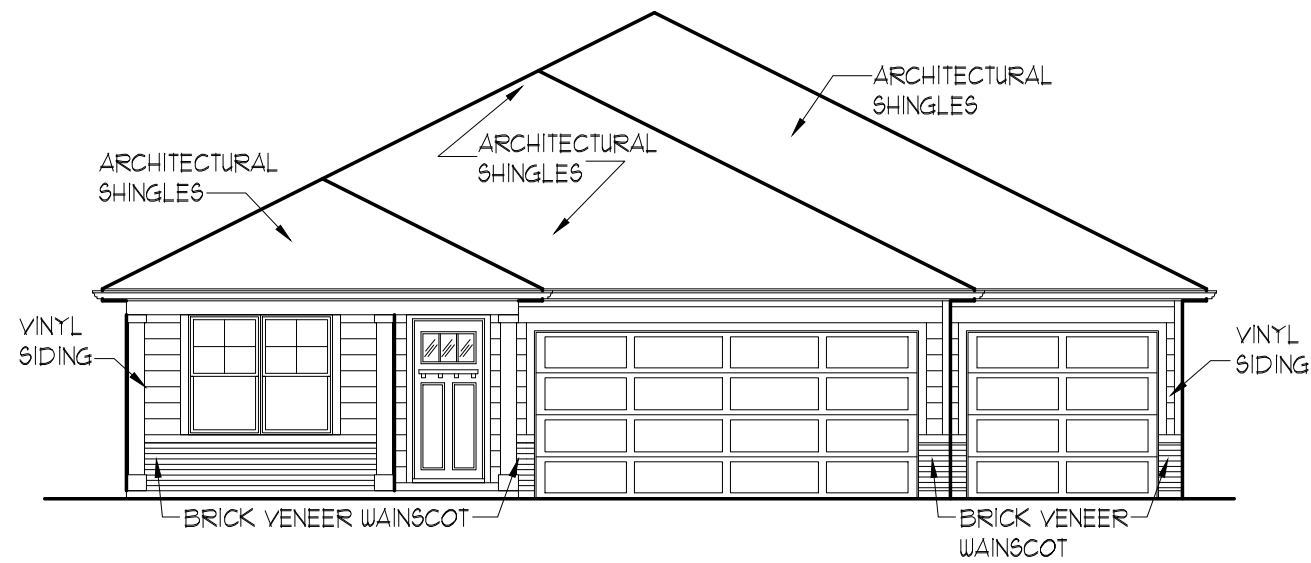
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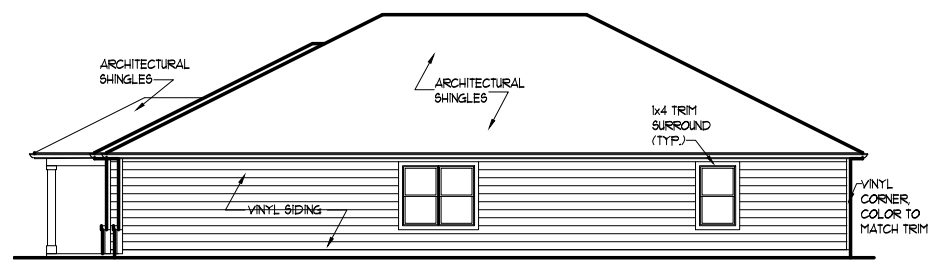
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X453 Fairfield

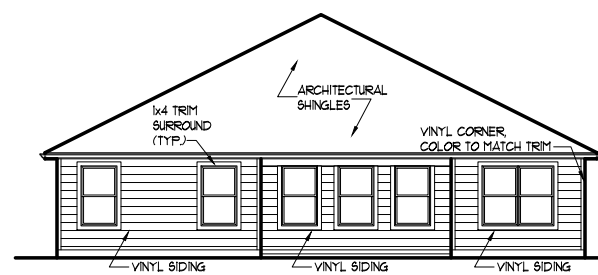
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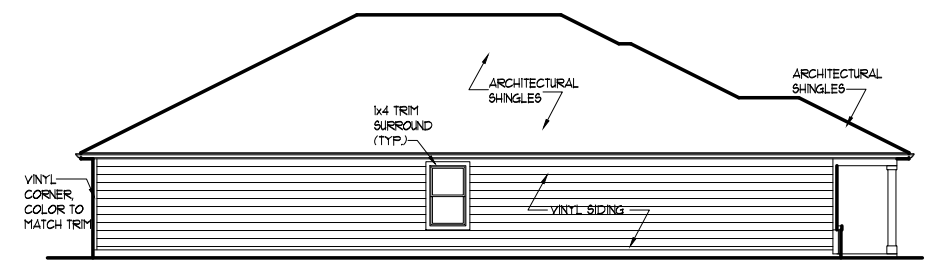
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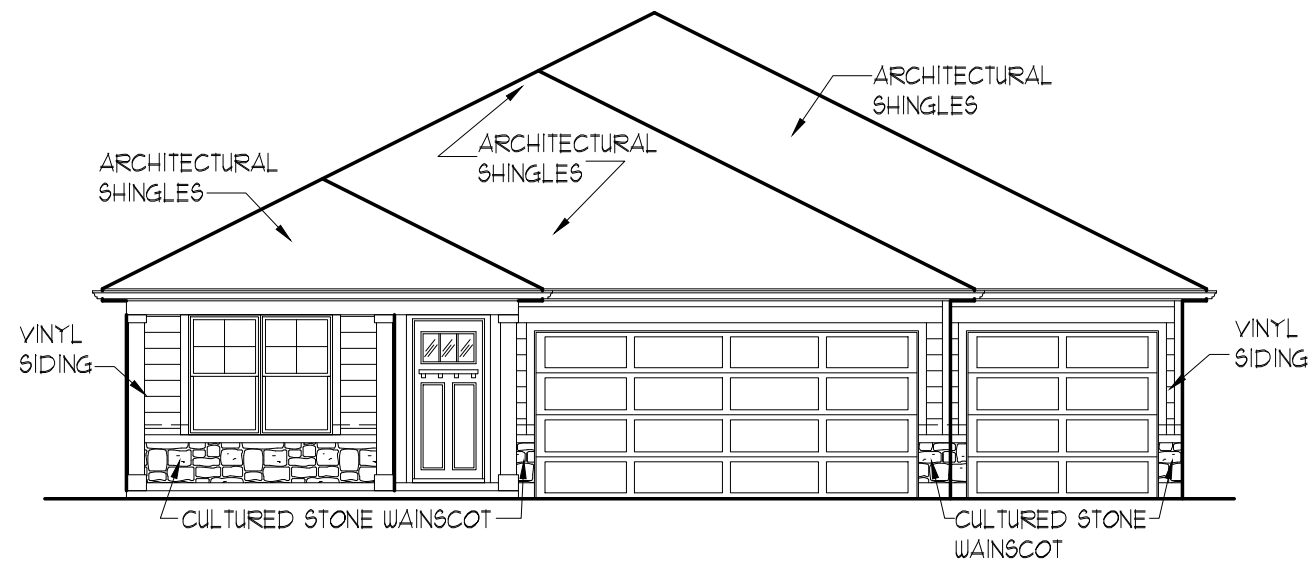
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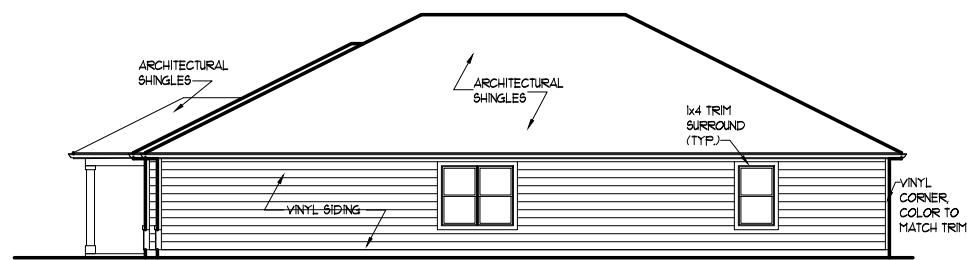
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X453 Fairfield

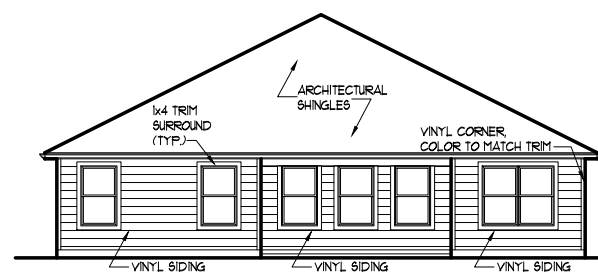
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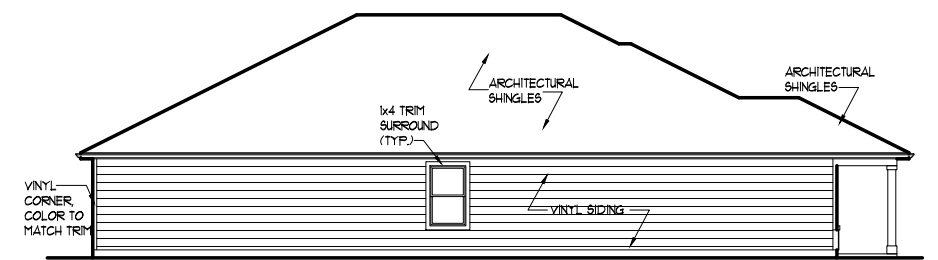
ELEVATION "D3"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



TYPICAL LEFT ELEVATION

X453 Fairfield

X-SERIES

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION
PUBLIC HEARING

MEETING DATE: May 23, 2022

SUBJECT: Petition No. 22-05.05, Venture One Real Estate, petitioner, and Huntley Development Limited Partnership, owner, Relating to ±44.46 acres generally located at the northwest corner of Illinois Route 47 and Jim Dhamer Drive, Huntley, IL; PIN: 02-08-401-015, Request is for consideration of (i) a Final Plat of Subdivision; (ii) Special Use Permit for a ±729,600 square foot speculative warehouse, storage and distribution facility; and (iii) Preliminary and Final Planned Unit Development, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley

BACKGROUND INFORMATION

Petitioner: Venture One Real Estate, 9500 Bryn Mawr #340, Rosemont, IL 60018

Owner: Horizon Group Properties, 10275 W Higgins Road #560, Rosemont, IL 60018

Subject Location: ±44.46 acres generally located at the northwest corner of Illinois Route 47 and Jim Dhamer Drive, Huntley, IL; PIN: 02-08-401-015

Request: The application requests a Final Plat of Subdivision and Preliminary and Final Planned Unit Development for the proposed construction of a new ±729,600 square foot industrial building to be utilized for *Warehouse, Storage, and Distribution* with associated outdoor truck parking. The subject property is zoned “BP” PDD Business Park - Planned Development District. A Special Use Permit is requested for *Warehouse, Storage, and Distribution* as a speculative use.

Zoning, Land Use and Comprehensive Plan:

| LOCATION | ZONING | CURRENT USE | COMPREHENSIVE PLAN |
|----------------------|------------------------------------------------------------------|-------------------------------|---------------------------|
| Property in Question | “BP” Business Park - PDD | Vacant | Office |
| North | “P” Parks and Open Space – PDD & “SF-2” Garden Residential - PDD | Open Space, Adult Residential | Park & Adult Residential |
| South | “O” Corporate Office – PDD & “BP” Business Park - PDD | Vacant | Office & Business Park |
| East | “P” Parks and Open Space – PDD & “C-2” Regional Retail - PDD | Open Space, Vacant | Office |
| West | “O” Corporate Office – PDD | Vacant | Office |

DEVELOPMENT SUMMARY

Venture One Real Estate proposes to construct a 729,600 square foot speculative warehouse/ distribution building on ±44.5 acres generally located at the northwest corner of Route 47 and Jim Dhamer Drive. The subject site was recently rezoned to “BP” Business Park on August 26, 2021 (Ordinance (O)2021-08.38). The “BP” zoning district allows *warehousing, storage, and distribution* as a Special Use. The petitioner states that the building could potentially be divided in up to two (2) tenant spaces. Staff notes, that no users for the building have been identified at this time. The petitioner is therefore requesting the special use for *Warehouse, Storage and Distribution* as a speculative use upon the subject property.

Site Plan

Venture One is proposing to construct a ±729,600 square foot warehouse/distribution building along Jim Dhamer Drive. The building has been located to meet all required building setback requirements and is positioned with the two office entrances facing southeast and northwest. The proposed site plan provides a total of 439 passenger vehicle parking spaces located adjacent to the east and west elevations of the building. Truck courts are proposed on both the north and south elevations of the building. The south truck court offers 58 depressed dock positions, two drive in doors, and 78 semi-trailer parking stalls along the Jim Dhamer Drive frontage. An 8 foot tall composite fence is proposed to be installed along Jim Dhamer Drive to screen the outdoor trailer parking. The proposed fence requires relief from the Village's Zoning Ordinance to be located within a front yard setback. The north truck court provides 67 depressed dock positions and two drive in doors. There are no semi-trailer parking stalls located to the north of the building. An 8' tall composite fence is also proposed atop a 2' berm along on the north side of the truck court to screen the property from the residences in Sun City Neighborhood 32.

Stormwater management is proposed along the east and north lot lines of the property, adjacent to the existing wetlands and Eakin Creek floodplain. The property would be separated from Neighborhood 32 by approximately 388 feet of "P" Parks and Open Space zoning. There would be approximately 655 feet of separation from Neighborhood 32 and the north truck court, and approximately 795 feet between the Neighborhood 32 and the proposed building.

Access to the site is proposed from three new curb cuts on Jim Dhamer Drive. The petitioner requires the three access points as the building holds the potential to support multiple users.

Building Elevations

The proposed building elevations utilize precast panels with a white and gray paint scheme. The east elevation will incorporate architectural panels with cast in reveals and two story glazing near the corner entrance. The west facing elevation will have a similar entrance. The north and south elevations consists of the proposed loading docks and will feature evenly spaced clerestory windows. The building will have an overall height of 44 feet. The roof top units are mostly screened by the parapet walls and any remaining portions of the unit left unscreened will feature a screen attached directly to the rooftop unit. No dumpster enclosures are proposed at this time. Any future enclosures must conform to the Village's requirements.

Landscape Plan

The proposed landscape plan includes six (6) varieties of evergreen and eighteen (18) varieties of shade trees. In total, 430 trees will be planted around the perimeter of the site. Landscaped islands are provided in the passenger parking areas as required. Foundation plantings are provided on the east and west side of the building. A mix of landscaping elements are provided along the site frontage facing Jim Dhamer Drive with particular attention given to the areas directly in front of the fence. The petitioner has provided renderings to depict the view of the building from Jim Dhamer Drive. Building entrances will feature complimentary grasses and perennials.

The petitioner also proposes to plant 68 shade trees along the north property line to supplement the existing vegetation that will remain on the Parks and Open Space zoned property that is located to the north of the subject site. Additionally, there will be 117 evergreen trees planted along the fence line to assist in screening the north truck court. The petitioner has provided renderings and photos to depict the view of the building from Neighborhood 32.

The stormwater detention basins are proposed to be native emergent plant bottoms with two of the basins featuring a partial wet bottom. All basins will use a wet meadow seed & blanket at the immediate perimeter of the basin and low profile prairie seed and blanket moving outward from these areas.

Lighting

The photometric plan indicates the use of Lithonia D Series LED light fixtures. Parking lot light fixtures installed on the east and west side of the building are proposed to be pole mounted at 33 feet in total height. Truck court light fixtures installed on the north and south side of the building are proposed to be pole mounted at 40 feet in total

height. Wall pak lighting is proposed to be installed on all four sides of the building mounted at 35 feet in total height. The proposed mounting height will require relief from the maximum fixture height of 25 feet as stated in the Development Agreement for the property. The lighting has been designed to provide the average minimum foot candles required by ordinance. The lights will be installed with motion sensors to dim when no activity is present. No fixture proposed will omit light above 90 degrees (full cut off). All fixtures will utilize only warm white light.

Signage

No detailed signage has been proposed at this time. Any future signage must conform to the Village's Sign Ordinance.

Village Board Concept Review

The Village Board reviewed conceptual plans for VenturePark 47 on November 18, 2021 and provided the following comments.

1. A sound wall was preferred to a fence along the north truck dock. *Plans demonstrate the installation of an 8 foot tall composite (trex) fence.*
2. It was requested that a 10 foot tall fence be installed along the north truck dock. *Plans demonstrate an 8 foot tall fence installed atop a 2 foot berm.*
3. Several members requested that the fence installed along the north truck court be extended to wrap around the driveway to shield oncoming headlights from shining into the adjacent homes. *Plans demonstrate the 8 foot fence has been extended past the driveway.*
4. It was recommended that dense plantings be added to supplement the screening provided along the north property line. *Landscaping plans show 68 shade trees and 117 evergreen trees to be planted in this area.*
5. It was recommended that dense planting be added to screen the truck stalls along Jim Dhamer Drive. *Landscaping plans show variety of plantings in front of an 8 foot tall composite fence.*
6. It was recommended that the trees planted along the north property line be 5" caliper trees to assist in providing a more immediate screen. *Plans demonstrate that new tree planting will be 2.5" caliper. The petitioner believes the 8 foot screen fence installed atop a 2 foot berm assists in accommodating an immediate screen. The petitioner states that trees of this size are difficult to source in this quantity and challenging to transplant. Additionally, mature trees do not tolerate the transplanting process as well as younger trees, and therefore have a lower survival rate.*

Plan Commission Concept Review

The Plan Commission reviewed conceptual plans for VenturePark 47 on November 22, 2021 and provided the following comments.

1. Concerns were voiced regarding the use of the facility for refrigerated trucks. *The petitioner noted that it is unlikely a refrigerated user will locate within the speculative space, however, if a tenant were to be identified and runs refrigerated trucks, they would be encouraged to use the south side truck court.*
2. Lighting as viewed from the adjacent residences was raised as a concern. *No fixture proposed will omit light above 90 degrees (full cut off). Allowing a higher mounting height requires the installation of less fixtures, which reduced the appearance of light spillage.*

Required Relief

As proposed, the plans will require the following relief to be approved as part of the Site Plan Review:

1. Section 156.079(J)(3)(a) requires that fencing installed within the front yard be 70% open and no taller than 3'. The "BP" zoning district requires a 35 foot front yard setback. An 8 foot tall solid fence is proposed to be installed in the front yard to screen the truck parking stalls from Jim Dhamer Drive. Relief is required to allow an 8' tall solid fence installed in the front yard.
2. Resolution(R)2021-08.65 establishes a maximum light fixture height of 25 feet. The proposed parking lot, truck court, and wall mount fixtures range from a 33 – 40 feet in height. Relief is required to allow for a maximum fixture height of 40 feet.

Plat of Subdivision

The proposed plat of subdivision will resubdivide parts of Lots 3 and 4 in the Huntley Corporate Park Phase 2 Subdivision. The resubdivision will create a 44.46 acre lot for the proposed warehouse/distribution building. The proposed lot area (44.46 acres) and lot width (1,358 feet) both exceed the minimum required for the “BP” Business Park zoning district.

SPECIAL USE PERMIT

A special use permit is requested by the petitioner to allow the proposed *Warehouse, Storage and Distribution* as a speculative use.

Standards for Special Uses

When reviewing a Special Use, the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following (The petitioner’s responses to these standards are provided as an attachment to this report):

- (a) *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.
- (b) *No Undue Adverse Impact.* The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
- (c) *No Undue Interference with Surrounding Development.* The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.
- (d) *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities (water consumption and waste generation), drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
- (e) *No Undue Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.
- (f) *No Undue Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.
- (g) *Compliance with Standards.* The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

In determining whether the applicant’s evidence establishes that the foregoing standards have been met, the Plan Commission shall consider:

- (1) **Public Benefit.** Whether, and to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community. Additional facts to consider are those of job creation and aesthetics and enhancement of the Village’s reputation; and
- (2) **Mitigation of Adverse Impacts.** Whether, and to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping and screening.

ACTION REQUESTED

The petitioners, Venture One Real Estate, petitioner, and Huntley Development Limited Partnership, owner, request a motion of the Plan Commission to recommend approval of (i) a Final Plat of Subdivision; (ii) Special Use Permit for a ±729,600 square foot speculative warehouse, storage and distribution facility; and (iii) Preliminary and Final

Planned Unit Development, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with all applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
4. The outdoor storage of shipping/cargo containers shall be prohibited.
5. Tractor trailer parking spaces shall be for occupants of the building only. The tractor trailer parking spaces shall not be leased to an off-premise business by the owner or tenant of the building.
6. Any dumpster enclosures to be installed are required to be constructed of materials matching the principal building façade, have an aluminum or steel gate, and must be approved by the Development Services Department.
7. In accordance with Section 155.221 of the Subdivision Ordinance, the Final Plat of Subdivision shall be recorded with Kane County within three (3) months of approval by the Village Board.
8. No building construction permits, plans, sign permits, or Certificates of Occupancy are approved as part of this submittal.

EXHIBITS

1. Site Aerial Photograph, 3.27.22
2. Applicant's Response to Special Use Standards
3. Plat of Survey, 5.14.22
4. Final Plat of Subdivision, 3.25.22
5. Final Planned Unit Development Site Plan, 5.9.22
6. Site Engineering Plans, 5.9.22
7. Exterior Elevations, 5.4.22
8. Sight Line Studies, 5.4.22
9. Landscape Plan, 5.9.22
10. Renderings
11. Lighting Specifications and Photometric, 5.9.22
12. Traffic Study, 5.5.22



Venture One
 Approx. 44.5 Acres

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 600'

VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

Print Date: 11/9/2021



Response to the Standards for Special Use Permits

VenturePark 47

Jim Dhamer Drive, Huntley, Illinois

As part of the Development Application for the VenturePark 47 project, a Special Use Permit is requested to allow a warehousing, storage, and distribution use within the Business Park zoning district. Per section 156.063(C)(II) of the Village of Huntley Zoning Ordinance, warehousing, storage and distribution is allowed as a special use within the BP district upon recommendation by the Plan Commission.

The proposed development is located on an approximately 44.5 acre lot located at the northwest corner of Route 47 and Jim Dhamer Drive in Huntley and will consist of a 729,600 square foot warehouse/distribution facility with associated utilities, stormwater management facilities, and pavement for tractor trailer parking and maneuvering. In addition to a Special Use Permit, Planned Unit Development and Final Plat of Subdivision approval are sought with this Development Application.

Code and Plan Purposes

The existing lots on which this development is proposed are zoned Business Park District (BP). The site is bound to the west by lots zoned Corporate Office (O), and south of Jim Dhamer Drive, nearby lots are also in the BP and O Districts. The existing facilities along Jim Dhamer Drive include a machine shop, truck equipment facility, and packaging company, providing similar light industrial uses to the proposed development. The Village of Huntley Comprehensive Plan specifies the subject lots and surrounding area as planned to create office and business park space. Not only would a warehousing, storage, and distribution use conform to surrounding land uses within this area today, but it will also continue to conform to surrounding land uses in the future as the Village moves towards their outlined strategy in the Comprehensive Plan. Additionally, warehousing, storage, and distribution is allowed as a special use within the BP district per Village ordinance. This development is proposed to meet all other BP district regulations within the zoning ordinance.

No Undue Adverse Impact

The warehousing/distribution use will have no adverse impact or interference with surrounding developments. Stormwater management and drainage has been designed in accordance with the Kane County Stormwater Management Ordinance and has been modeled to resemble existing conditions drainage and therefore have no adverse effects on Eakin Creek to the north. The lot will be separated from existing residential zoning to the north by another lot zoned Parks and Open Space, through which Eakin Creek runs. The development will be further screened from the existing residential lots by detention basins and landscaping proposed on the northern portion of the site and a screen wall running along the north curb line of the north truck court.



No Undue Interference with Surrounding Development

As previously discussed, the development's proposed use will fit with the existing developments along Jim Dhamer Drive. With naturalized detention basins proposed on the north side of the site, the site layout has been arranged in a way that will not interfere with the residential properties or the open space and Eakin Creek to the north. The building itself will be located nearly 800 feet from the nearest residential property and will not look out of place when compared to other buildings on Jim Dhamer Drive.

Adequate Public Facilities

Existing sanitary sewer and water main are located along Jim Dhamer Drive and will provide sanitary and water service to the proposed development. All site access will be provided from Jim Dhamer Drive. Per the Village GIS portal, this property is served by the Huntley fire and police district.

No Undue Traffic Congestion

A Traffic Impact Study has been completed by Sam Schwartz Engineering and is included with this Development Application. The results of the study indicate that the center median on Jim Dhamer Drive be removed in some locations to accommodate left turn lanes into the proposed development. With these proposed improvements, traffic operation would be acceptable following full occupancy of the development.

No Undue Destruction of Significant Features

The Illinois State Historic Preservation Office and Illinois Department of Natural Resources have reviewed the proposed development limits of the project and determined no adverse impacts to natural resources or historic features. Results of each jurisdiction's review are included with this Development Application.

Compliance with Standards

The proposed development and warehousing, storage, and distribution use comply with all standards set forth in the Village Zoning Ordinance for special uses within the BP district.

As required by ordinance, a list of the names and addresses of all owners of property within 250 feet of the subject development has been included as an attachment to this narrative.



Adjoining Property Owners within 250 Feet
VenturePark 47
Jim Dhamer Drive, Huntley, Illinois

1. PIN: 02-08-405-002
HUNTLEY DEVELOPMENT LP HORIZON GROUP PROPERTIES INC
10275 W HIGGINS RD STE 560
ROSEMONT, IL, 60018-5625

2. PIN: 02-08-401-017
PRIME FREEMAN ROAD LLC
PRIME GROUP INC
120 N LA SALLE ST STE 3200
CHICAGO, IL, 60602-2416

3. PIN: 02-08-350-005
HIWIN CORPORATION
12455 JIM DHAMER DR
HUNTLEY, IL, 60142-8065

4. PIN: 02-08-350-003
REICHE PARTNERS LLC
ADAM REICHE
1550 N OLD RAND RD STE A
WAUCONDA, IL, 60084-3315

ALTA/NSPS LAND TITLE SURVEY

OF

THAT PART OF LOT 3 AND PART OF LOT 4 IN HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT NO. 1999K016920, AND THAT PART OF LOT 8 IN UNIT NO. 1, HUNTLEY, RECORDED DECEMBER 18, 1992, AS DOCUMENT NO. 92K91667, BOTH BEING SUBDIVISIONS IN SECTION 8, TOWNSHIP 42 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

LEGAL DESCRIPTION

THAT PART OF LOT 3 AND PART OF LOT 4 IN HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION, BEING A SUBDIVISION IN SECTION 8, TOWNSHIP 42 NORTH, RANGE 7 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 1999, AS DOCUMENT NO. 1999K016920, AND THAT PART OF LOT 8 IN UNIT NO. 1, HUNTLEY, BEING A SUBDIVISION OF PART OF SECTIONS 5, 6, 7, 8, 9, 16 AND 17, ALL IN TOWNSHIP 42 NORTH, RANGE 7 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1992, AS DOCUMENT NO. 92K91667, ALL IN KANE COUNTY, ILLINOIS, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 8; THENCE NORTH 89 DEGREES 28 MINUTES 54 SECONDS EAST (BASIS OF BEARINGS – ILLINOIS STATE PLANE COORDINATES (EAST ZONE (NAD83)) BROUGHT UP TO GROUND COORDINATES) ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER SECTION 229.94 FEET TO A POINT ON A LINE LYING 441.70 FEET EASTERLY OF (MEASURED PERPENDICULAR TO) THE WEST LINE OF SAID LOT 3, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 17 MINUTES 38 SECONDS EAST ALONG SAID LINE BEING PARALLEL WITH THE WEST LINE OF SAID LOT 3, A DISTANCE OF 122.10 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 568.16 FEET TO A POINT ON THE NORTHEASTERN LINE OF SAID LOT 3, SAID POINT LYING 453.97 FEET NORTHWESTERLY OF (AS MEASURED ALONG SAID NORTHEASTERN LINE) A CORNER OF SAID LOT 3; THENCE SOUTH 60 DEGREES 03 MINUTES 46 SECONDS EAST ALONG SAID NORTHEASTERN LINE 453.97 FEET TO A CORNER OF SAID LOT 3; THENCE SOUTH 88 DEGREES 16 MINUTES 50 SECONDS EAST 545.48 FEET; THENCE SOUTH 33 DEGREES 22 MINUTES 06 SECONDS EAST 1,134.49 FEET TO A POINT ON THE SOUTHERN LINE OF SAID LOT 4, SAID POINT LYING 268.48 FEET EASTERLY OF (AS MEASURED ALONG SAID SOUTH LINE) THE SOUTHWESTERN CORNER OF SAID LOT 4 (THE FOLLOWING FIVE (5) COURSES ARE ALONG THE SOUTHERN LINE OF SAID LOT 4 AND LOT 3); 1) THENCE NORTH 89 DEGREES 52 MINUTES 15 SECONDS WEST 268.48 FEET TO THE SOUTHWESTERN CORNER OF SAID LOT 4, SAID POINT ALSO BEING THE POINT OF CURVATURE OF A CURVE BEING CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 1,050.00 FEET; 2) THENCE WESTERLY ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 250.88 FEET TO ITS POINT OF TANGENCY, SAID CURVE BEING SUBTENDED BY A CHORD BEARING OF SOUTH 83 DEGREES 17 MINUTES 03 SECONDS WEST 250.29 FEET; 3) THENCE SOUTH 76 DEGREES 26 MINUTES 20 SECONDS WEST 317.42 FEET TO THE POINT OF CURVATURE OF A CURVE BEING CONCAVE TO THE NORTH AND HAVING A RADIUS OF 950.00 FEET; THENCE WESTERLY ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 612.34 FEET TO ITS POINT OF TANGENCY, SAID CURVE BEING SUBTENDED BY A CHORD BEARING OF NORTH 85 DEGREES 05 MINUTES 44 SECONDS WEST 601.80 FEET; 5) THENCE NORTH 66 DEGREES 37 MINUTES 48 SECONDS WEST 773.85 FEET TO A POINT ON THE AFORESAID LINE LYING 441.70 FEET EASTERLY OF (MEASURED PERPENDICULAR TO) THE WEST LINE OF SAID LOT 3; THENCE NORTH 00 DEGREES 17 MINUTES 38 SECONDS EAST ALONG SAID LINE BEING PARALLEL WITH THE WEST LINE OF SAID LOT 3, A DISTANCE OF 814.24 FEET TO THE POINT OF BEGINNING, CONTAINING 44.463 ACRES, MORE OR LESS, IN KANE COUNTY, ILLINOIS.

TABLE A ITEMS:

#1. MONUMENTS ARE AS NOTED AT EACH CORNER.

#2. ADDRESS(ES) IF DISCLOSED IN RECORD DOCUMENTS, OR OBSERVED WHILE CONDUCTING THE SURVEY, THERE WAS NO POSTED ADDRESS VISIBLE WHILE CONDUCTING THE SURVEY, ACCORDING TO THE KANE COUNTY GIS, THERE ARE NO ADDRESSES ASSOCIATED WITH THE THREE P.L.N.s THAT COMPRISE THIS SUBJECT PROPERTY (PART OF 02-08-401-015, PART OF 02-08-101-103, AND PART OF 02-08-401-014).

#3. ACCORDING TO A SCALED INTERPRETATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS FOR KANE COUNTY, ILLINOIS, AND INCORPORATED AREAS, HAVING MAP NUMBER 17089C0040H WITH A MAP REVISION DATE OF AUGUST 3, 2009, AND MAP NUMBER 17089C0045H WITH A MAP REVISION DATE OF AUGUST 3, 2009, THE MAJORITY OF THIS SITE FALLS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND PORTIONS OF THE EASTERN SIDE OF THE SUBJECT TRACT FALL WITHIN ZONE A (SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD)(NO BASE FLOOD ELEVATIONS DETERMINED) AS SHOWN ON THE SURVEY. NOTE THAT THIS DETERMINATION IS SUBJECT TO UNCERTAINTIES OF THE ORIGINAL FEMA MAP SCALES WHICH ARE 1 INCH EQUALS 1000 FEET.

#4. AREA OF THE SUBJECT PROPERTY IS 1,936,814 SQ.FT OR 44.463 ACRES.

#7. WITH RESPECT TO 7(a), 7(b)(1), AND 7(c), NO BUILDINGS OBSERVED.

#9. NUMBER OF MARKED PARKING SPACES: NO MARKED PARKING SPACES WERE OBSERVED ON THE SUBJECT TRACT.

#11(a) ABOVE GROUND VISIBLE EVIDENCE OF UNDERGROUND UTILITIES ARE SHOWN ON THE SURVEY. NO UNDERGROUND UTILITY INVESTIGATIONS WERE PERFORMED. THE FOLLOWING PLANS AND/OR REPORTS WERE USED FOR REFERENCE:

J.U.L.I.E. REQUEST MEMBERS CONTACTED BY JULIE: AT&T DISTRIBUTION, COMMONWEALTH EDISON, COMCAST, THE VILLAGE OF HUNTLEY, MCI/VERIZON, NICOR GAS AND USIC LOCATING SERVICES. JULIE DIG NUMBER X3150431.

#14. THE DISTANCE FROM THE SOUTHEASTERN CORNER OF THE SUBJECT TRACT TO THE WESTERN RIGHT OF WAY LINE OF ILLINOIS ROUTE 47 IS 114 FEET.

#16. IN THE PROCESS OF CONDUCTING THE FIELDWORK, THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.

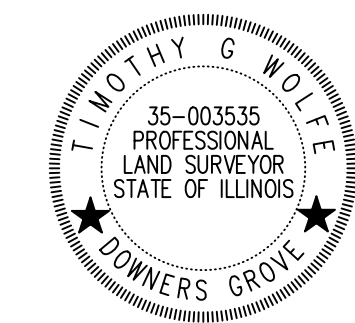
#17. THE SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. DURING THE PROCESS OF CONDUCTING THE FIELDWORK, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

To: Huntley Development Limited Partnership, an Illinois limited partnership; and
Commonwealth Land Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17 and 19 of Table A thereof. The field work was completed on March 2, 2022.

Dated this 14th day of May in the year 2022.



Timothy G. Wolfe
Illinois Professional Land Surveyor No. 035-003535
Jacob & Hefner Associates, Inc
twolfe@jacobandhefner.com
www.jacobandhefner.com
My license expires November 30, 2022

| | |
|----------------|-----------------------------|
| Survey No.: | G 3 5 5 |
| Ordered By.: | VENTURE ONE REAL ESTATE |
| Description: | ALTA/NSPS LAND TITLE SURVEY |
| Date Prepared: | MAY 14, 2022 |
| Scale: | 1" = N/A |
| | Field Work: DM/MB/DS |
| | Prepared By: LB/ERP |

THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED BASED ON THE COMMITMENT FOR TITLE INSURANCE ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY AS COMMITMENT NO. FCH12200286LI WITH A COMMITMENT DATE OF MAY 4, 2022, AND MOST RECENTLY PRINTED MAY 13, 2022. THE AREA DESCRIBED HEREON AFFECTS THE FOLLOWING TAX PARCEL NUMBERS: PART OF 02-08-401-014 AND PART OF 02-08-401-015 AND PART OF 02-08-101-103.

EXCEPTION B: RIGHTS OF THE UNITED STATES OF AMERICA, THE STATE OF ILLINOIS, THE MUNICIPALITY, AND THE PUBLIC IN AND TO THAT PART OF THE LAND FALLING IN EAKIN CREEK AND THE KISHAWKEE RIVER AND RIGHTS OF THE ADJOINING OWNERS IN AND TO THE FREE AND UNOBSTRUCTED FLOW OF THE WATERS THEREOF.

EXCEPTION C: SEE RECIPROCAL AGREEMENT TO GRANT EASEMENTS AND DEDICATE LAND RECORDED JUNE 27, 1995, AS DOCUMENT 95K034789 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED AS EXHIBIT B PARCEL FIVE OF THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

EXCEPTION D: SEE ANNEXATION AGREEMENT RECORDED DECEMBER 16, 1992, AS DOCUMENT 92K91006 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

SEE ANNEXATION AGREEMENT RECORDED JULY 10, 1996, AS DOCUMENT 96K049804 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

SEE ORDINANCE AUTHORIZING THE EXECUTION OF AN AMENDMENT TO ANNEXATION AGREEMENT RECORDED FEBRUARY 5, 1998, AS DOCUMENT 98K009529 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

SEE AMENDMENT TO ANNEXATION AGREEMENT RECORDED FEBRUARY 5, 1998, AS DOCUMENT 98K009530 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

SEE ORDINANCE AUTHORIZING THE EXECUTION OF AN AMENDMENT TO ANNEXATION AGREEMENT RECORDED FEBRUARY 5, 1998, AS DOCUMENT 98K009535 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

SEE SECOND AMENDMENT TO ANNEXATION AGREEMENT RECORDED FEBRUARY 5, 1998, AS DOCUMENT 98K009536 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

EXCEPTION E: SEE REDEVELOPMENT AGREEMENT RECORDED MARCH 10, 1994, AS DOCUMENT 94K021705 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND LIES COMPLETELY WITHIN THE AREA DESCRIBED WITHIN THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE. SEE DOCUMENT FOR SPECIFICS.

EXCEPTION F: SEE DECLARATION OF RESTRICTIVE COVENANTS RECORDED DECEMBER 7, 2000, AS DOCUMENT 2000K098690 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE AREAS DESCRIBED AS "WETLAND B" AND "WETLAND C" FALL WITHIN THE SUBJECT TRACT, AS SHOWN.

EXCEPTION G: SEE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED JULY 17, 1996, AS DOCUMENT 96K051417 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREAS DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBE LOTS LYING SOUTH OF JIM DHAMER DRIVE AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED MARCH 4, 1999, AS DOCUMENT 1999K023360 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREA DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBES A LOT LYING WEST OF THE SUBJECT TRACT AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED MAY 13, 1999, AS DOCUMENT 1999K048450 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREA DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBES LAND LYING WEST OF AND IMMEDIATELY ADJACENT TO THE SUBJECT TRACT BUT DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED AUGUST 17, 1999, AS DOCUMENT 1999K080625 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREA DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBES A LOT LYING WEST OF THE SUBJECT TRACT AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED SEPTEMBER 13, 2000, AS DOCUMENT 2000K073108 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREA DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBES AN AREA LYING WEST OF THE SUBJECT TRACT AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED DECEMBER 7, 2000, AS DOCUMENT 2000K098692 FOR ITEMS RELATING TO PORTIONS OF THE SUBJECT TRACT. THE AREAS DESCRIBED AS "WETLAND B" AND "WETLAND C" IN EXHIBIT "A" OF THE DOCUMENT FALL WITHIN THE SUBJECT TRACT, AS SHOWN. SEE DOCUMENT FOR SPECIFICS.

SEE AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED FEBRUARY 3, 2004, AS DOCUMENT 2004K015425 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREAS DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBE AREAS LYING WEST AND SOUTH OF THE SUBJECT TRACT AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED FEBRUARY 6, 2004, AS DOCUMENT 2004K017410 WHICH RE-RECORDED DOCUMENT 2004K015425 (PRIOR) TO RECORD DOCUMENT WITHOUT ATTACHING THE ASSIGNMENT. THE AREAS DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBE AREAS LYING WEST AND SOUTH OF THE SUBJECT TRACT AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

SEE SECOND AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED JULY 13, 2012, AS DOCUMENT 2012K045529 FOR ITEMS THAT MAY RELATE TO THE SUBJECT TRACT. THE AREAS DESCRIBED WITHIN EXHIBIT A OF THE DOCUMENT DESCRIBE AREAS LYING WEST AND SOUTH OF THE SUBJECT TRACT AND DOES NOT INCLUDE ANY PORTION OF THE SUBJECT TRACT. SEE DOCUMENT FOR SPECIFICS.

EXCEPTION H: SEE HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT 1999K016920 FOR BUILDING SETBACK LINES ALONG THE NORTHERLY AND EASTERLY 30 FEET AND THE SOUTHERLY 50 FEET OF LOT 3, AS SHOWN.

EXCEPTION I: SEE HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT 1999K016920 AND HUNTLEY CORPORATE PARK PHASE ONE RESUBDIVISION RECORDED JANUARY 3, 1997, AS DOCUMENT 97K000368 FOR MUNICIPAL UTILITY EASEMENTS ALONG THE SOUTHERN SIDE OF LOT 3 AND LOT 4, AS SHOWN.

EXCEPTION J: SEE HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT 1999K016920 FOR COMMONWEALTH EDISON EASEMENTS OVER THE SOUTHERN PORTION OF THE SUBJECT TRACT, AS SHOWN.

EXCEPTION K: SEE HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT 1999K016920 FOR A STORMWATER MANAGEMENT EASEMENT AFFECTING ALL OF LOT 4, AS SHOWN.

EXCEPTION L: SEE HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT 1999K016920 FOR THE FOLLOWING NOTE: "LOT 4 SHALL ONLY HAVE DIRECT ACCESS TO ILLINOIS STATE ROUTE 47 ACROSS "PERMITTED AREA FOR ACCESS" AS DESIGNATED ON THE SUBDIVISION PLAT AND AS SHOWN. THAT ACCESS AREA DOES NOT FALL WITHIN THE SUBJECT PROPERTY AND THE SUBJECT PROPERTY HAS NO FRONTAGE ALONG ILLINOIS ROUTE 47."

EXCEPTION M: SEE HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT 1999K016920 FOR A NOTE IN THE SURVEYOR'S CERTIFICATE THAT PART OF THE LAND LIES IN ZONE "A" OR AREA OF 100 YEAR FLOOD PER FEMA FIRM PANEL 170480 0004 C EFFECTIVE DATE AUGUST 27, 1998.

EXCEPTION N: SEE MEMORANDUM OF RESTRICTIVE COVENANTS AGREEMENT RECORDED FEBRUARY 3, 2004, AS DOCUMENT 2004K015426 FOR ITEMS RELATED TO THE SUBJECT TRACT. THE SUBJECT TRACT IS A PART OF AND CONTAINED WITHIN EXHIBIT D PARCEL 1 AND EXHIBIT D PARCEL 4 OF THE DOCUMENT. NOT PLOTTABLE. BLANKET IN NATURE.

EXCEPTION O: SEE PLAT OF UNIT NO. 1 HUNTLEY SUBDIVISION RECORDED DECEMBER 18, 1992, AS DOCUMENT 92K91667 FOR A NOTE IN THE SURVEYOR'S CERTIFICATE THAT A PORTION OF THE PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

EXCEPTION P: SEE PLAT OF UNIT NO. 1 HUNTLEY SUBDIVISION RECORDED DECEMBER 18, 1992, AS DOCUMENT 92K91667 FOR A NOTE ON SHEET 2: "SETBACKS ARE ESTABLISHED PURSUANT TO VILLAGE OF HUNTLEY ZONING ORDINANCE, AS AMENDED."

EXCEPTION Q: SEE MEMORANDUM OF AGREEMENT RECORDED OCTOBER 5, 2021, AS DOCUMENT 2021K075172 FOR ITEMS RELATED TO THE SUBJECT TRACT. ALL OF EXHIBIT A PARCEL 5 AND THE FIRST PARAGRAPH OF EXHIBIT A PARCEL 6 DESCRIBES THE SUBJECT TRACT. NOT PLOTTABLE. BLANKET IN NATURE.

EXCEPTION T: RIGHTS OF WAY FOR DRAINAGE TILES, DITCHES, FEEDERS, LATERALS AND UNDERGROUND PIPES, IF ANY.

EXCEPTION U: RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES.

UTILITY STATEMENT – JULIE DIG NUMBER X3150431. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

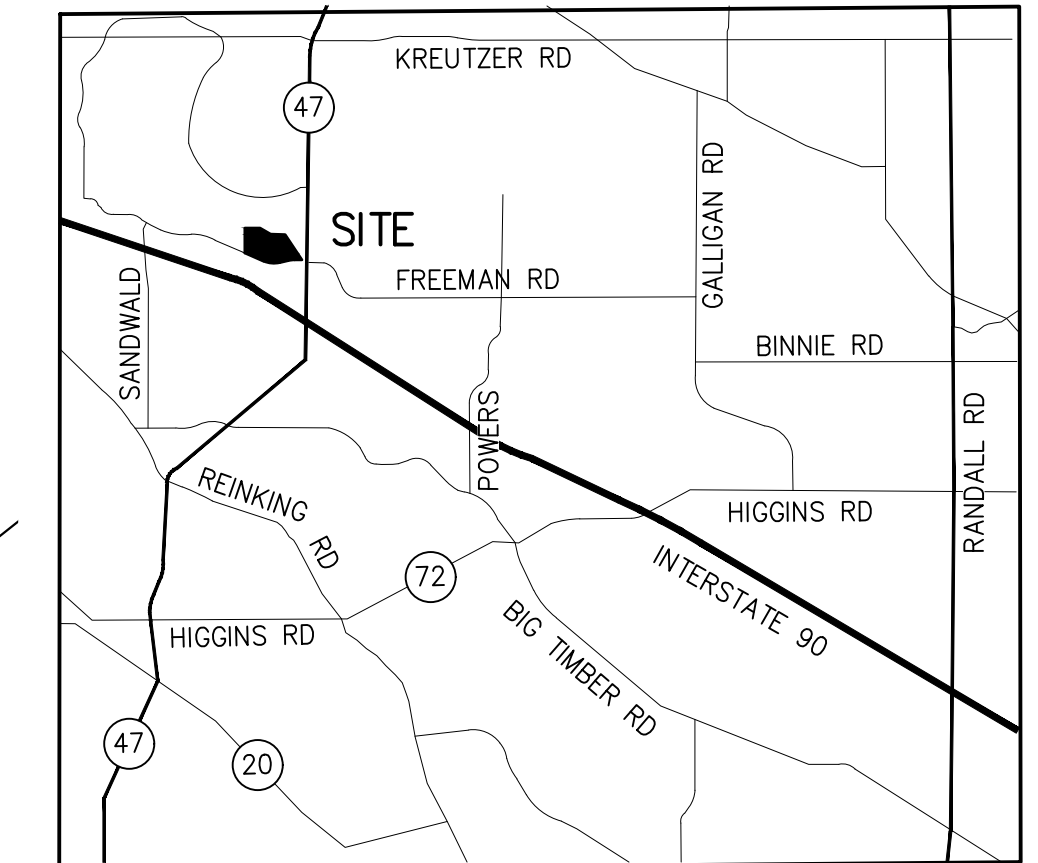


PARCEL INDEX NUMBERS

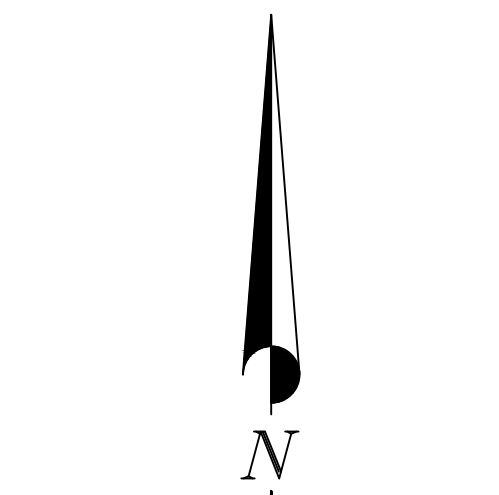
PART OF 02-08-401-015
 PART OF 02-08-401-014
 PART OF 02-08-101-103

**FINAL PLAT OF SUBDIVISION
 VENTUREPARK 47**

BEING A RESUBDIVISION OF
 PART OF LOTS 3 AND 4 IN HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT NO. 1999K016920, AND PART OF LOT 8 IN UNIT NO. 1, HUNTLEY, RECORDED DECEMBER 18, 1992, AS DOCUMENT NO. 92K91667, BOTH BEING SUBDIVISIONS IN SECTION 8, TOWNSHIP 42 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.



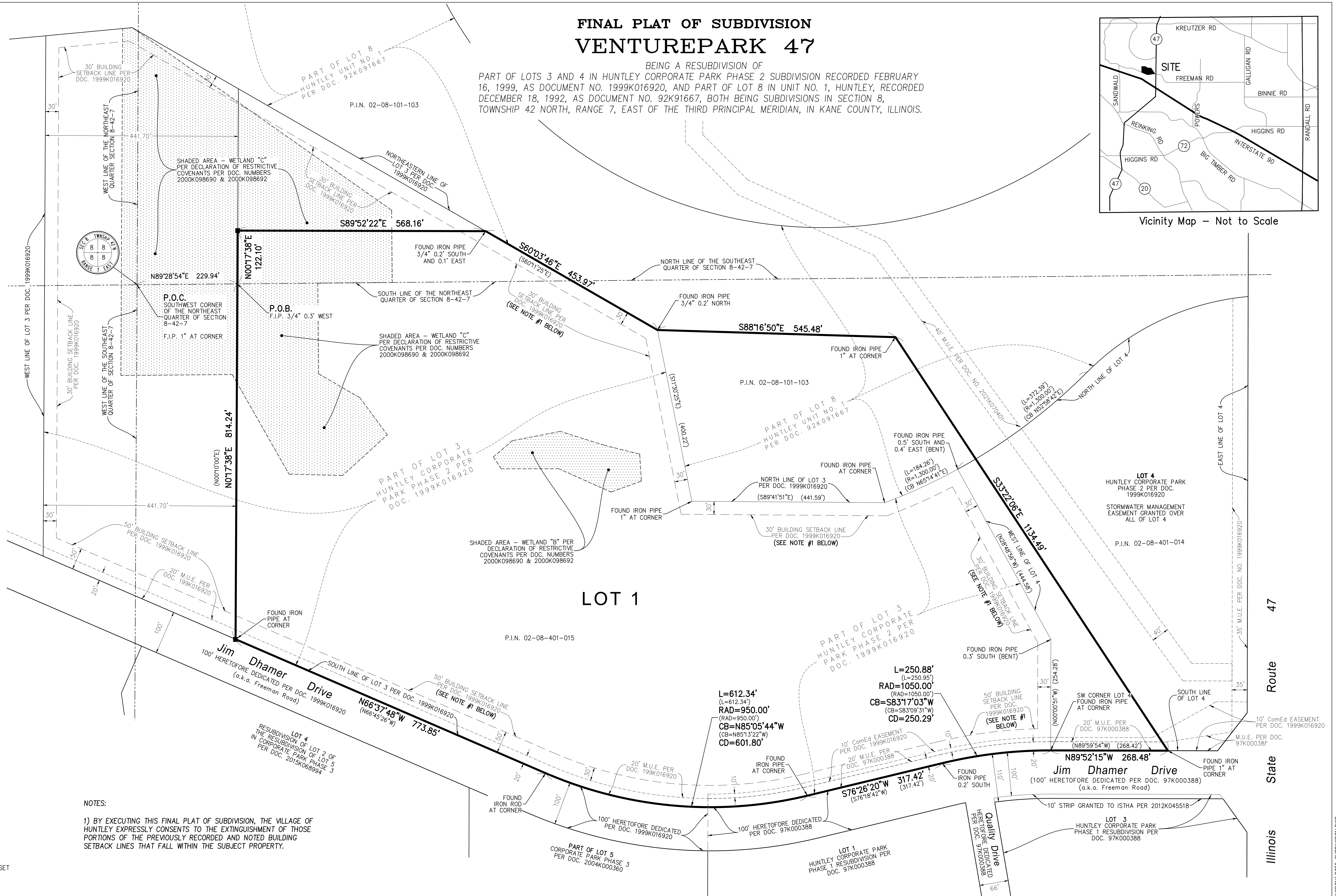
Vicinity Map - Not to Scale



0' 50' 100' 200'

SCALE: 1" = 100'
 BASIS OF BEARINGS

ILLINOIS STATE PLANE COORDINATES
 (EAST ZONE NAD 83)
 "BROUGHT UP TO GROUND
 COORDINATES"



- ABBREVIATIONS**
- XXX.XX' MEASURED DIMENSION
 - (XXX.XX') RECORD DIMENSION
 - CHD CHORD BEARING
 - CHL CHORD LENGTH
 - DOC. DOCUMENT
 - F.I.P. FOUND IRON PIPE
 - F.I.P.C FOUND IRON PIPE WITH CAP
 - F.I.R. FOUND IRON ROD
 - F.I.R.C. FOUND IRON ROD WITH CAP
 - L ARC LENGTH
 - M.U.E. MUNICIPAL UTILITY EASEMENT
 - NO. NUMBER
 - P.I.N. PARCEL INDEX NUMBER
 - P.U.E. PUBLIC UTILITY EASEMENT
 - R. RADIUS
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - CONCRETE MONUMENT TO BE SET

NOTES:

1) BY EXECUTING THIS FINAL PLAT OF SUBDIVISION, THE VILLAGE OF HUNTLEY EXPRESSLY CONSENTS TO THE EXTINGUISHMENT OF THOSE PORTIONS OF THE PREVIOUSLY RECORDED AND NOTED BUILDING SETBACK LINES THAT FALL WITHIN THE SUBJECT PROPERTY.

| AREA SUMMARY | | |
|------------------|-------------|--------|
| AREA DESIGNATION | SQUARE FEET | ACRES |
| LOT 1 | 1,936,814 | 44.463 |

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Road, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com
 Illinois Professional Design Firm
 License No. 184-003073 Exp. 4/30/23

| | |
|----------------|---------------------------|
| Survey No.: | G 3 5 5 |
| Ordered By: | Venture One Real Estate |
| Description: | Final Plat of Subdivision |
| Date Prepared: | March 25, 2022 |
| Scale: | 1" = 100' |
| Prepared By: | ERP |

H:\G:\3551\5\DWG\SUBDIVISION\G355 SUBDIVISION.DWG

PARCEL INDEX NUMBERS

PART OF 02-08-401-015
PART OF 02-08-401-014
PART OF 02-08-101-103

FINAL PLAT OF SUBDIVISION
VENTUREPARK 47

BEING A RESUBDIVISION OF
PART OF LOTS 3 AND 4 IN HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION RECORDED FEBRUARY 16, 1999, AS DOCUMENT NO. 1999K016920, AND PART OF LOT 8 IN UNIT NO. 1, HUNTLEY, RECORDED DECEMBER 18, 1992, AS DOCUMENT NO. 92K91667, BOTH BEING SUBDIVISIONS IN SECTION 8, TOWNSHIP 42 NORTH, RANGE 7, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT HUNTLEY DEVELOPMENT LP, HORIZON GROUP PROPERTIES, INC., AS OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, HAS CAUSED THE SAME TO BE PLATTED AS INDICATED HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

SCHOOL DISTRICT STATEMENT

PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE SCHOOL DISTRICT STATEMENT. TO THE BEST OF THE OWNER'S KNOWLEDGE THE SCHOOL DISTRICT(S) IN WHICH THE TRACT OF LAND LIES, IS IN THE FOLLOWING SCHOOL DISTRICT(S):

ELEMENTARY/MIDDLE/HIGH SCHOOL

COMMUNITY UNIT SCHOOL DISTRICT 300
2550 HARNISH DRIVE
ALGONQUIN, IL 60102

DATED AT _____, THIS _____ DAY OF _____, 2022.

HUNTLEY DEVELOPMENT, LP
HORIZON GROUP PROPERTIES, INC

BY: _____

PRINTED: _____

TITLE: _____

HUNTLEY DEVELOPMENT, LP
HORIZON GROUP PROPERTIES, INC
10275 W. HIGGINS ROAD, SUITE 560
ROSEMONT, ILLINOIS 60018-5625

NOTARY CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED _____, BY ME KNOWN AND BY ME KNOWN TO

BE THE _____, OF _____, WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING "PLAT" ON BEHALF OF SAID COMPANY.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 2022.

(NOTARY PUBLIC)

(PRINTED SIGNATURE)

MY COMMISSION EXPIRES: _____

MY COUNTY OF RESIDENCE: _____

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

OWNER: _____

BY: _____

PRINTED: _____

TITLE: _____

DATE: _____

REGISTERED PROFESSIONAL ENGINEER

PRINTED: _____

DATE: _____

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
COUNTIES OF McHENRY AND KANE) SS

APPROVED BY THE VILLAGE BOARD OF HUNTLEY, ILLINOIS,

THIS _____ DAY OF _____, 2022 A.D.

BY: _____

VILLAGE PRESIDENT

ATTEST: _____

VILLAGE CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTIES OF McHENRY AND KANE) SS

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF HUNTLEY, ILLINOIS

THIS _____ DAY OF _____, 2022 A.D.

BY: _____

CHAIRPERSON

BY: _____

SECRETARY

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTIES OF McHENRY AND KANE) SS

I, _____

THE VILLAGE ENGINEER FOR THE VILLAGE OF HUNTLEY, DO HEREBY CERTIFY THAT THE TOPOGRAPHIC STUDIES AND ENGINEERING PLANS ACCOMPANYING THE PLAT HEREON DRAWN, AS REQUIRED BY THE PLAT ACT, HAVE BEEN REVIEWED UNDER MY SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE, THE PLANS CONFORM TO THE REQUIREMENTS AND ORDINANCES OF SAID VILLAGE.

DATED THIS _____ DAY OF _____ OF 2022 A.D.

BY: _____

VILLAGE ENGINEER

VILLAGE TREASURER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTIES OF McHENRY AND KANE) SS

I, _____, VILLAGE

TREASURER OF THE VILLAGE OF HUNTLEY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HUNTLEY, McHENRY COUNTY, ILLINOIS,

THIS _____ DAY OF _____, 2022 A.D.

BY: _____

VILLAGE TREASURER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, _____, COUNTY CLERK IN KANE

COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY AT GENEVA, ILLINOIS,

THIS _____ DAY OF _____, 2022 A.D.

BY: _____

COUNTY CLERK

PREPARED BY:
JACOB & HEFNER ASSOCIATES
1333 BUTTERFIELD ROAD SUITE 300
DOWNERS GROVE, ILLINOIS 60515

PREPARED FOR:
VENTURE ONE REAL ESTATE
9500 BRYN MAWR SUITE 340
ROSEMONT, ILLINOIS 60018

PLAT PRESENTED BY:

PERMISSION TO RECORD

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, TIMOTHY G. WOLFE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY GRANT PERMISSION TO A REPRESENTATIVE OF THE VILLAGE OF HUNTLEY TO RECORD THIS PLAT. THE REPRESENTATIVE SHALL PROVIDE THIS SURVEYOR WITH A RECORD COPY OF THIS PLAT.

DATED THIS _____ DAY OF _____, 2022.

TIMOTHY G. WOLFE
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-003535
JACOB & HEFNER ASSOCIATES
MY LICENSE EXPIRES NOVEMBER 30, 2022



SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, TIMOTHY G. WOLFE, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, AT THE REQUEST OF THE OWNERS THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED FOR THE PURPOSES HEREON SET FORTH THE FOLLOWING DESCRIBED PROPERTY:

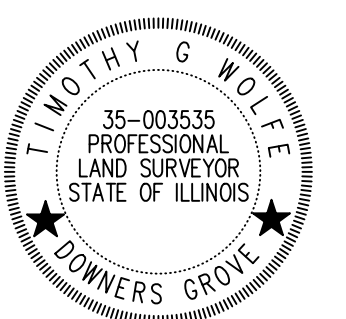
THAT PART OF LOT 3 AND PART OF LOT 4 IN HUNTLEY CORPORATE PARK PHASE 2 SUBDIVISION, BEING A SUBDIVISION IN SECTION 8, TOWNSHIP 42 NORTH, RANGE 7 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 16, 1999, AS DOCUMENT NO. 1999K016920, AND THAT PART OF LOT 8 IN UNIT NO. 1, HUNTLEY, BEING A SUBDIVISION OF PART OF SECTIONS 5, 6, 7, 8, 9, 16 AND 17, ALL IN TOWNSHIP 42 NORTH, RANGE 7 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 18, 1992, AS DOCUMENT NO. 92K91667, ALL IN KANE COUNTY, ILLINOIS, BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 8; THENCE NORTH 89 DEGREES 28 MINUTES 54 SECONDS EAST (BASIS OF BEARINGS - ILLINOIS STATE PLANE COORDINATES (EAST ZONE (NAD83)) BROUGHT UP TO GROUND COORDINATES) ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER SECTION 229.94 FEET TO A POINT ON A LINE LYING 441.70 FEET EASTERLY OF (MEASURED PERPENDICULAR TO) THE WEST LINE OF SAID LOT 3, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 17 MINUTES 38 SECONDS EAST ALONG SAID LINE BEING PARALLEL WITH THE WEST LINE OF SAID LOT 3, A DISTANCE OF 122.10 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS EAST 568.16 FEET TO A POINT ON THE NORTHEASTERN LINE OF SAID LOT 3, SAID POINT LYING 453.97 FEET NORTHWESTERLY OF (AS MEASURED ALONG SAID NORTHEASTERN LINE) A CORNER OF SAID LOT 3; THENCE SOUTH 60 DEGREES 03 MINUTES 46 SECONDS EAST ALONG SAID NORTHEASTERN LINE 453.97 FEET TO A CORNER OF SAID LOT 3; THENCE SOUTH 88 DEGREES 16 MINUTES 50 SECONDS EAST 545.48 FEET; THENCE SOUTH 33 DEGREES 22 MINUTES 06 SECONDS EAST 1,134.49 FEET TO A POINT ON THE SOUTHERN LINE OF SAID LOT 4, SAID POINT LYING 268.48 FEET EASTERLY OF (AS MEASURED ALONG SAID SOUTH LINE) THE SOUTHWESTERN CORNER OF SAID LOT 4 (THE FOLLOWING FIVE (5) COURSES ARE ALONG THE SOUTHERN LINE OF SAID LOT 4 AND LOT 3); 1) THENCE NORTH 89 DEGREES 52 MINUTES 15 SECONDS WEST 268.48 FEET TO THE SOUTHWESTERN CORNER OF SAID LOT 4, SAID POINT ALSO BEING THE POINT OF CURVATURE OF A CURVE BEING CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 1,050.00 FEET; 2) THENCE WESTERLY ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 250.88 FEET TO ITS POINT OF TANGENCY, SAID CURVE BEING SUBTENDED BY A CHORD BEARING OF SOUTH 83 DEGREES 03 SECONDS WEST 250.29 FEET; 3) THENCE SOUTH 76 DEGREES 26 MINUTES 20 SECONDS WEST 317.42 FEET TO THE POINT OF CURVATURE OF A CURVE BEING CONCAVE TO THE NORTH AND HAVING A RADIUS OF 950.00 FEET; THENCE WESTERLY ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 612.34 FEET TO ITS POINT OF TANGENCY, SAID CURVE BEING SUBTENDED BY A CHORD BEARING OF NORTH 85 DEGREES 05 MINUTES 44 SECONDS WEST 601.80 FEET; 5) THENCE NORTH 66 DEGREES 37 MINUTES 48 SECONDS WEST 773.85 FEET TO A POINT ON THE AFORESAID LINE LYING 441.70 FEET EASTERLY OF (MEASURED PERPENDICULAR TO) THE WEST LINE OF SAID LOT 3; THENCE NORTH 00 DEGREES 17 MINUTES 38 SECONDS EAST ALONG SAID LINE BEING PARALLEL WITH THE WEST LINE OF SAID LOT 3, A DISTANCE OF 814.24 FEET TO THE POINT OF BEGINNING, CONTAINING 44.463 ACRES, MORE OR LESS, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND PLAT WHICH WAS PREPARED IN COMPLIANCE WITH THE LAWS OF THE STATE OF ILLINOIS, AND THAT THE PROPERTY DESCRIBED AND SHOWN HEREON IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HUNTLEY, ILLINOIS. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. IRON RODS WITH CAPS WILL BE SET AT ALL CORNERS EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT ACCORDING TO A SCALED INTERPRETATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS FOR KANE COUNTY, ILLINOIS AND INCORPORATED AREAS AS SHOWN ON MAP NUMBERS 17089C0040H AND 17089C0045H, BOTH WITH EFFECTIVE DATES OF DECEMBER 20, 2002, AND MOST RECENTLY REVISED AUGUST 3, 2009, A PORTION OF THE SUBJECT PROPERTY FALLS WITHIN "ZONE A" (NO BASE FLOOD ELEVATIONS DETERMINED)(SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD), AND THE REMAINDER OF THE SUBJECT PROPERTY FALLS WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

GIVEN UNDER MY HAND AND SEAL THIS 3rd DAY OF MAY IN THE YEAR 2022.

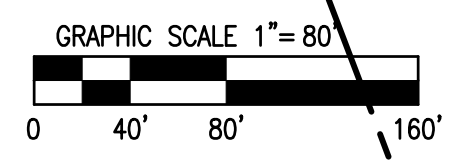
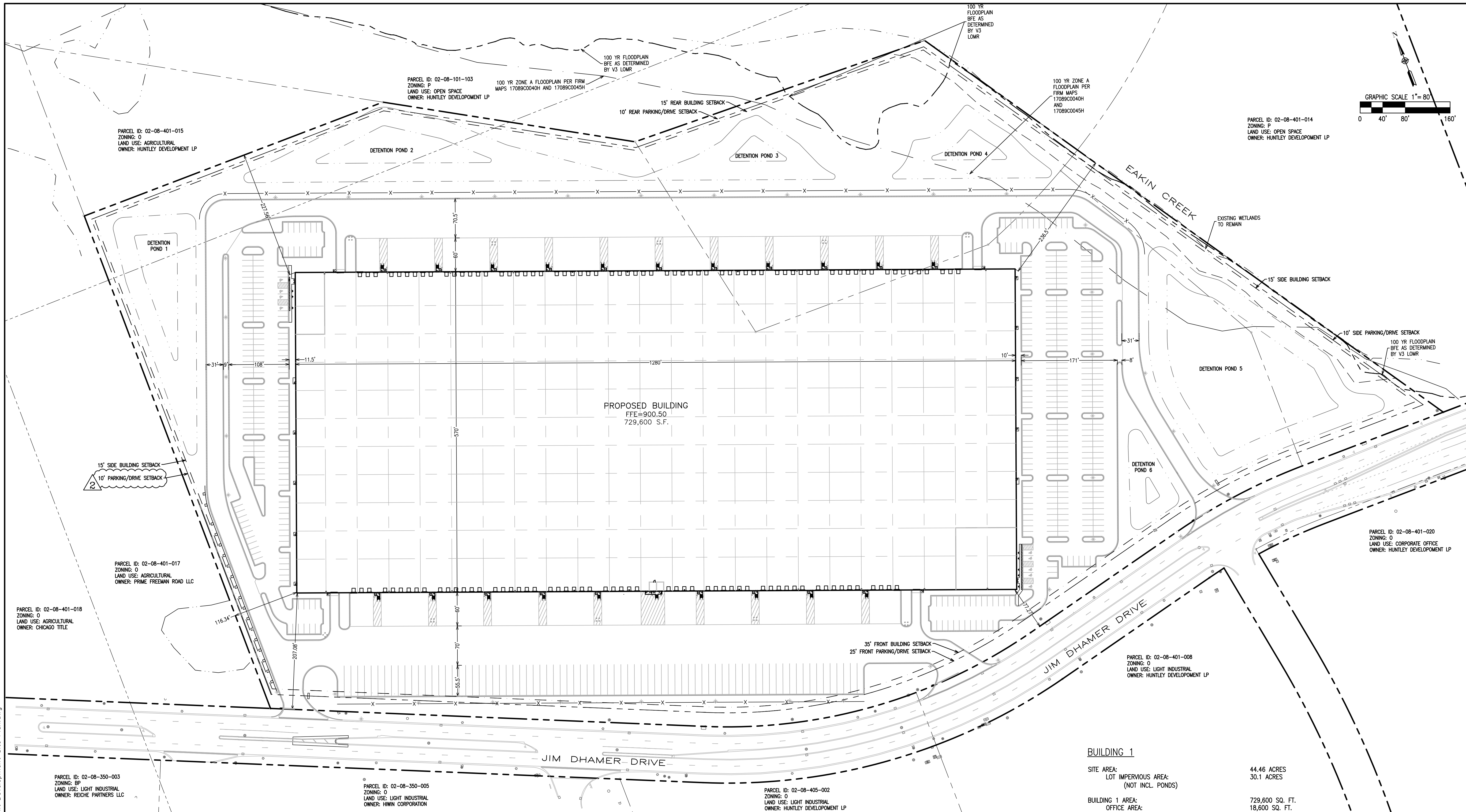
TIMOTHY G. WOLFE
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-003535
JACOB & HEFNER ASSOCIATES
MY LICENSE EXPIRES NOVEMBER 30, 2022



JACOB & HEFNER ASSOCIATES
1333 Butterfield Road, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com
Illinois Professional Design Firm
License No. 184-003073 Exp. 4/30/23

Table with 4 columns: Survey No., Ordered By, Description, Date Prepared, Scale, Prepared By, ERP. Values include G 3 5 5, Venture One Real Estate, Final Plat of Subdivision, March 25, 2022, N/A, ERP.

H:\G355a\E_Dwg\Final\Exhibits\G355a-Final Planned Unit Development Site Plan.dwg



BUILDING 1

| | |
|-------------------------------------------|-----------------|
| SITE AREA: | 44.46 ACRES |
| LOT IMPERVIOUS AREA: (NOT INCL. PONDS) | 30.1 ACRES |
| BUILDING 1 AREA: | 729,600 SQ. FT. |
| OFFICE AREA: | 18,600 SQ. FT. |
| WAREHOUSE AREA: | 711,000 SQ. FT. |
| FLOOR AREA RATIO: | 0.38 |
| BUILDING HEIGHT: | 49 FT. MAXIMUM |

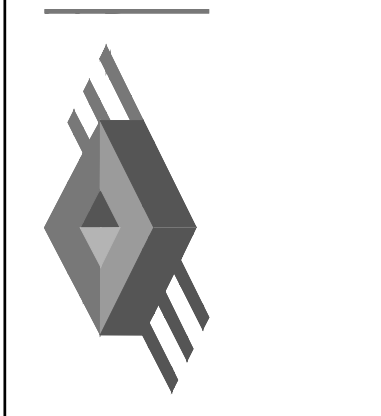
BUILDING 1 PARKING

| | |
|-----------------------------------------------------------------|--------------------------------|
| ZONING ORDINANCE FOR WAREHOUSE LAND USE 0.5-STALLS/1,000-SF: | REQUIRED: 356 STALLS |
| ZONING ORDINANCE FOR OFFICE LAND USE 4-STALLS/1,000-SF: | 75 STALLS |
| HANDICAP ACCESSIBLE PARKING: | 9 STALLS |
| TOTAL STALLS REQUIRED: | 431 STALLS |
| | PROPOSED: |
| TOTAL PASSENGER VEHICLE PARKING PROVIDED: | 439 STALLS |
| HANDICAP ACCESSIBLE PARKING: | 9 STALLS |
| TRAILER PARKING (55FT): | 78 STALLS |

| | | |
|--------------------------|----------|-------------|
| REV PER VILLAGE COMMENTS | 05/09/22 | Date |
| 1 ORIGINAL EXHIBIT DATE | 04/04/22 | Date |
| No. | | Description |

FINAL PLANNED UNIT DEVELOPMENT SITE PLAN
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com

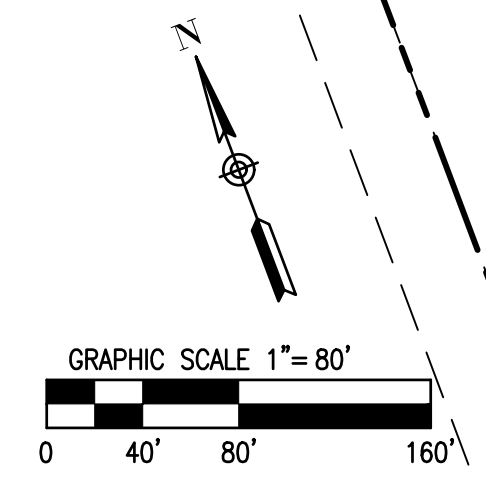
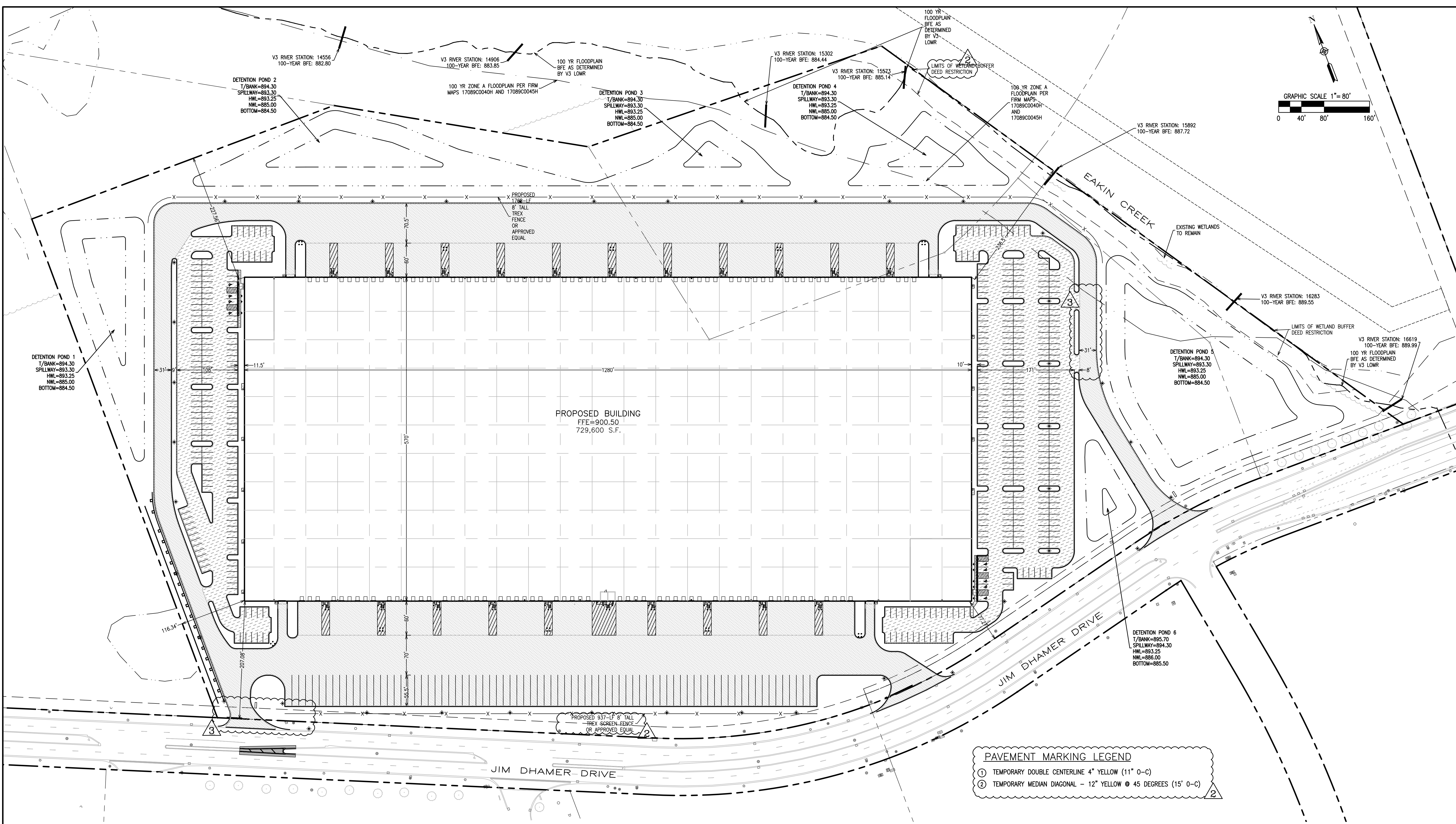


1" = 80'

G355a

EXHIBIT1

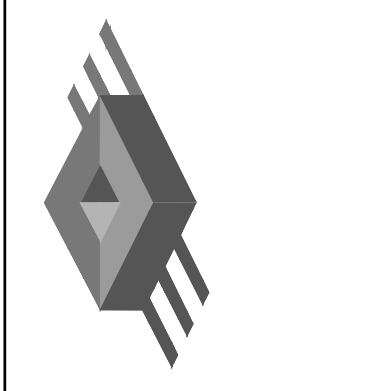
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| | | |
|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |
| No. | Description | Date |

OVERALL DIMENSIONAL CONTROL & PAVING PLAN
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com



GEOMETRIC NOTES

- ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- INSTALL REVERSE PITCH 86.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: _____
- CURB AND GUTTER DENOTED BY: _____
- DEPRESSED CURB AND GUTTER DENOTED BY: _____
- VARIABLE HEIGHT CURB AND GUTTER DENOTED BY: _____
- ALL RADII ARE 4'-FT UNLESS NOTED OTHERWISE.
- ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- STAIR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- ALL RAISED REFLECTIVE PAVEMENT MARKERS USED WITH SKIP DASHES SHALL BE CENTERED IN THE GAP BETWEEN SEGMENTS.
- ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- FIBER EXPANSION JOINTS OF 3/4" FULL DEPTH BIT. FIBER MATERIAL SHALL BE INSTALLED AS REFERENCED IN THE PAVEMENT LEGEND (THIS SHEET) AND WHERE CONCRETE ABUTS ALL CURB, BUILDING, POLES OR OTHER STRUCTURES.
- CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH ACI 330R GUIDE (LATEST EDITION) FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.
- CONSTRUCTION JOINTS SHALL INCLUDE DOWELS PER "CONSTRUCTION JOINT TABLE" ALL DOWELS SHALL BE SMOOTH EPOXY COATED; GREASE ONE END.
- CONTRACTOR SHALL PROVIDE CONTRACTION JOINT 5' OFF OF FACE OF BUILDING.
- EXCEPT AT FIRST PANEL FROM THE FACE OF BUILDING, CONCRETE PANELS LENGTH SHALL NOT EXCEED ITS WIDTH BY MORE THAN 25%.
- CONTRACTION JOINTS SHALL BE CUT TO A DEPTH D/4 FOR CONVENTIONAL

CONCRETE, OR D/3 FOR FIBER REINFORCED CONCRETE. WIDTH OF SAW-CUT SHALL BE PER JOINT SEALANT MATERIAL MANUFACTURER'S RECOMMENDATIONS.

- ALL JOINTS SHALL BE CAULKED
 -SIKASIL-728SL (SAWCUT JOINTS)
 -SIKAFLEX-1C/SL (EXPANSION JOINTS)
 -OR APPROVED EQUAL
- CURB & GUTTER WITHIN CONCRETE PAVEMENT AREAS SHALL BE MONOLITHICALLY POURED OR SHALL BE TIED TO THE FIRST PANEL.

| DOWEL SIZE AND SPACING AT CONSTRUCTION JOINTS | | |
|-----------------------------------------------|--------------------------------------------|--------------------------|
| PAVEMENT DEPTH (INCH) | CONSTRUCTION JOINT DOWEL DIMENSIONS (INCH) | DOWEL SPACING C-C (INCH) |
| 5 TO <6 | 3/4 x 10 | 12 |
| 6 TO <8 | 1 x 13 | 12 |
| 8 TO <10 | 1-1/4 x 15 | 12 |
| 10 TO 12 | 1-1/2 x 18 | 12 |

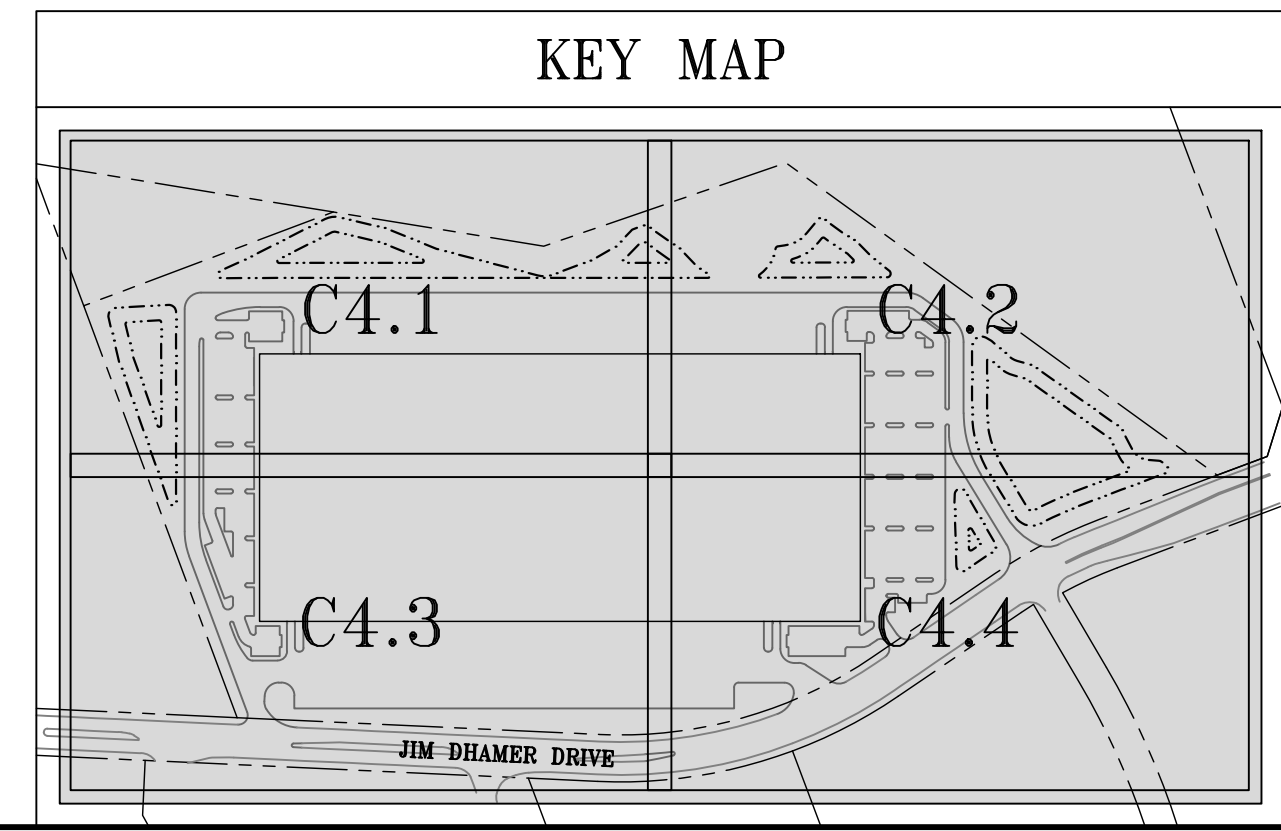
PAVEMENT MARKING LEGEND

- TEMPORARY DOUBLE CENTERLINE 4" YELLOW (11" 0-C)
- TEMPORARY MEDIAN DIAGONAL - 12" YELLOW @ 45 DEGREES (15' 0-C)

PAVEMENT LEGEND

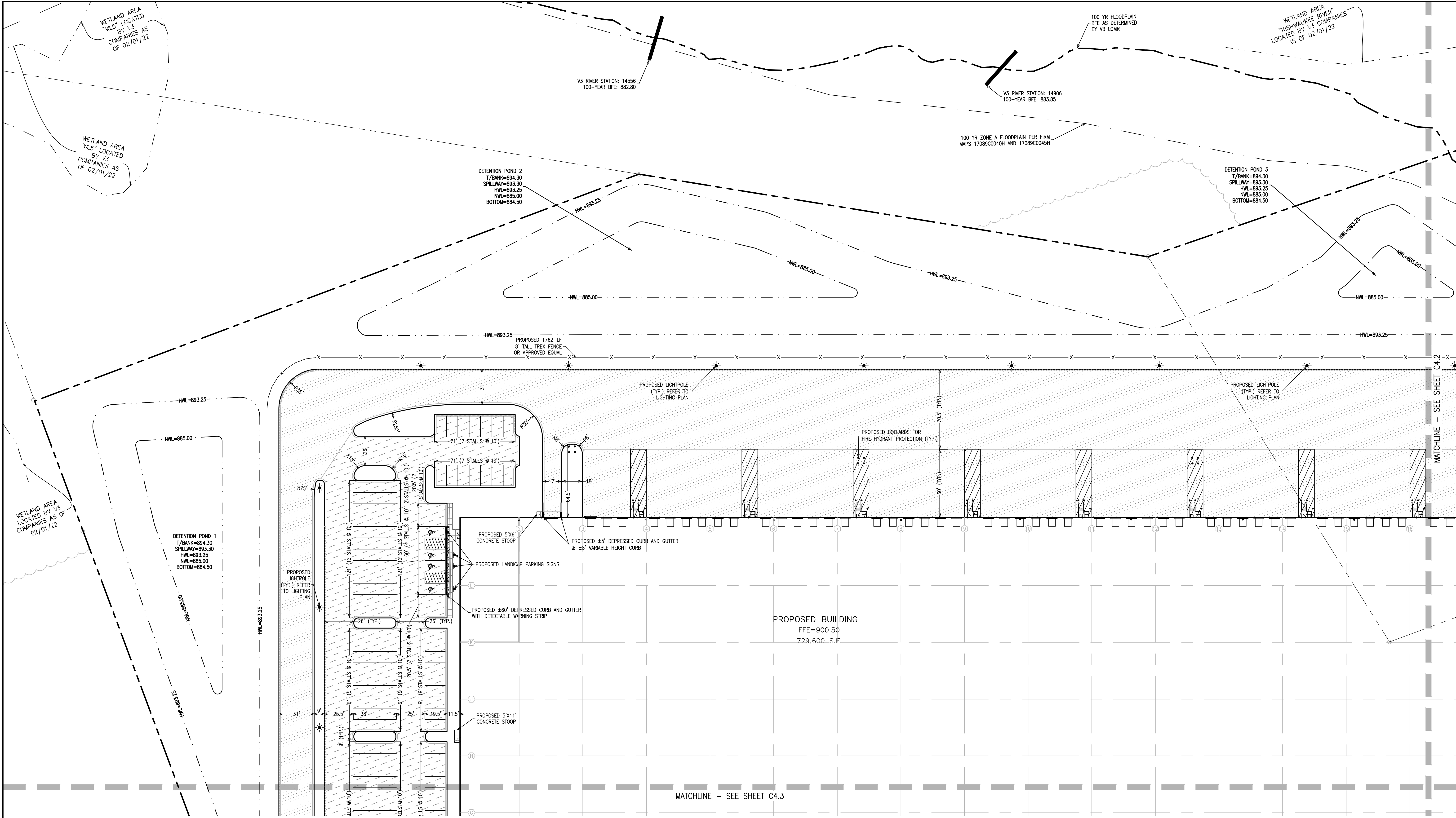
- HEAVY DUTY PAVEMENT**
 7.5" UNREINFORCED PCC PAVEMENT, 4,000 PSI, A/E
 4.0" CA-6 BASE COURSE
 CONTRACTION JOINTS @ 15' C-C MAX; 12' C-C PREFERABLE
 EXPANSION JOINTS @ 500' MAX
- LIGHT DUTY PAVEMENT**
 2.0" SURFACE COURSE, MIX "D", N50
 2.25" HMA BINDER COURSE, IL-19, N50
 8.0" CA-6 BASE COURSE
- SIDEWALK PAVEMENT**
 5.0" PCC PAVEMENT (4,000 PSI UNREINFORCED, BROOM FINISH)
 4.0" CA-6 BASE COURSE
 CONTRACTION JOINTS @ 5' C-C
 EXPANSION JOINTS @ 50' C-C
- TEMPORARY ROADWAY PAVEMENT**
 5.0" HMA BINDER COURSE, IL-19.0, N50
 12.0" CA-6 BASE COURSE

2 ROADWAY IMPROVEMENTS REMOVED



G355a
1" = 80'
C4.0

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CURB & GUTTER LEGEND

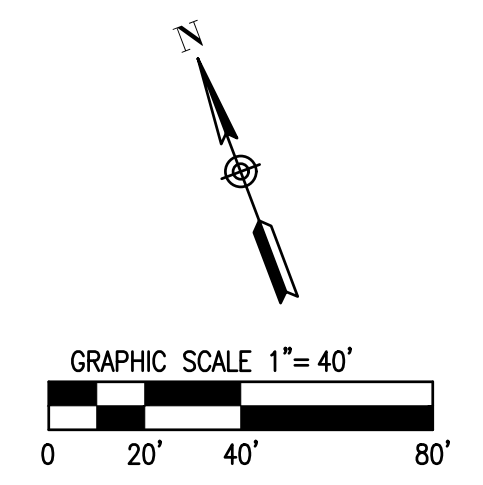
- 1) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: _____
- 2) CURB AND GUTTER DENOTED BY: _____
- 3) DEPRESSED CURB AND GUTTER DENOTED BY: _____
- 4) VARIABLE HEIGHT CURB AND GUTTER DENOTED BY: _____

PAVEMENT MARKING LEGEND

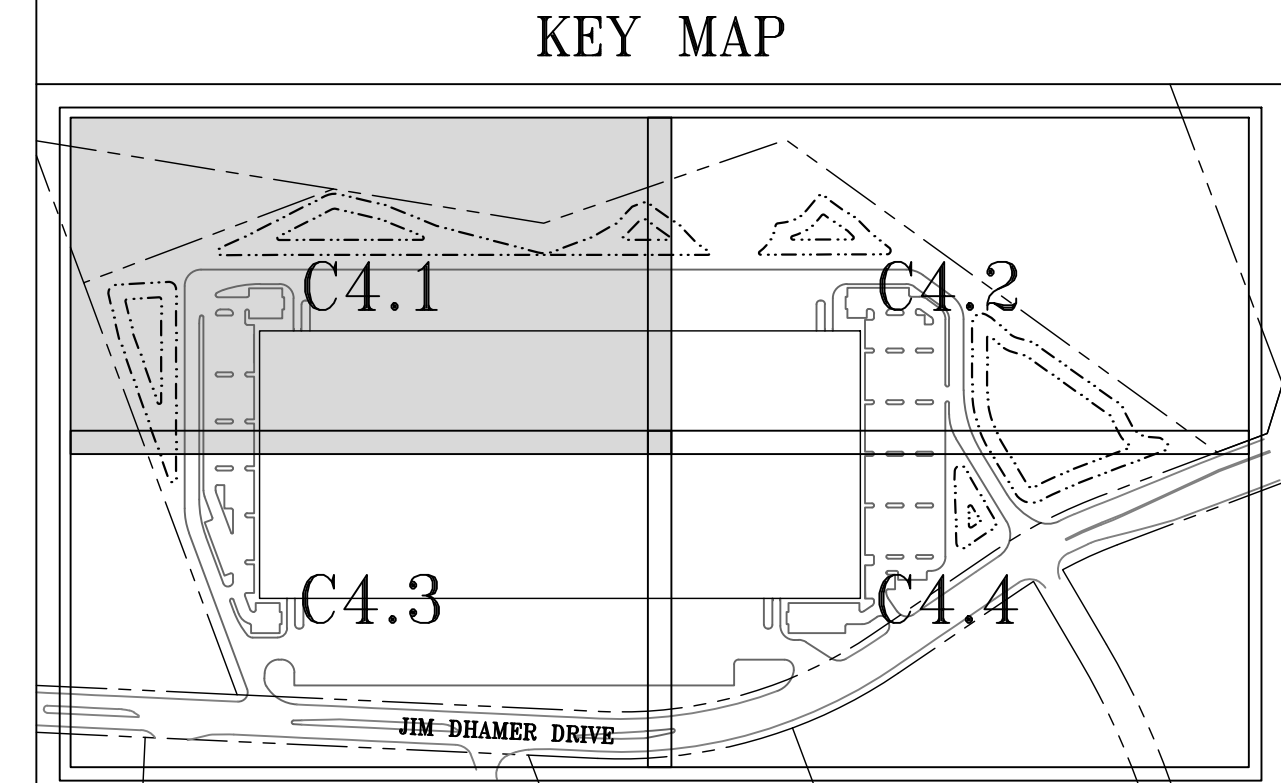
- ① TEMPORARY DOUBLE CENTERLINE 4" YELLOW (11" O-C)
- ② TEMPORARY MEDIAN DIAGONAL - 12" YELLOW @ 45 DEGREES (15' O-C)

PAVEMENT LEGEND

- HEAVY DUTY PAVEMENT**
7.5" UNREINFORCED PCC PAVEMENT, 4,000 PSI, A/E
4.0" CA-6 BASE COURSE
CONTRACTION JOINTS @ 15' C-C MAX; 12' C-C PREFERABLE
EXPANSION JOINTS @ 500' MAX
- LIGHT DUTY PAVEMENT**
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2.25" HMA BINDER COURSE, IL-19, N50
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- SIDEWALK PAVEMENT**
5.0" PCC PAVEMENT (4,000 PSI UNREINFORCED,
BROOM FINISH)
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CONTRACTION JOINTS @ 5' C-C
EXPANSION JOINTS @ 50' C-C
- TEMPORARY ROADWAY PAVEMENT**
5.0" HMA BINDER COURSE, IL-19.0, N50
12.0" CA-6 BASE COURSE



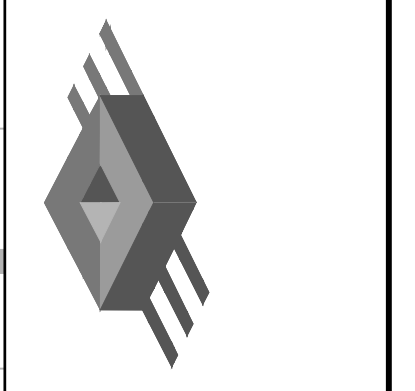
NOTE: REFER TO SHEET C4.0 FOR DIMENSIONAL CONTROL & PAVING NOTES.



| No. | Description | Date |
|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |

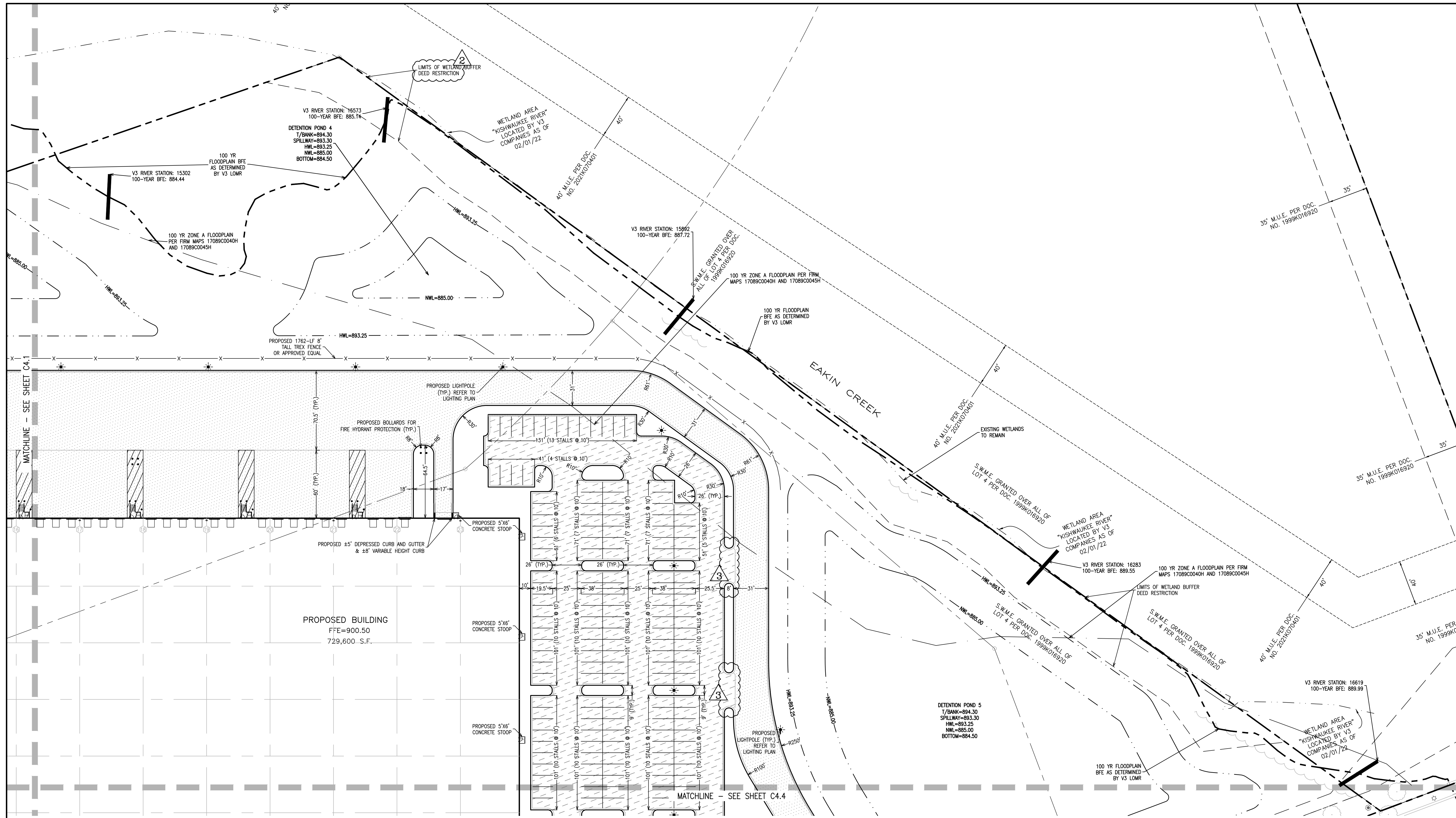
DIMENSIONAL CONTROL & PAVING
PLAN - NORTHWEST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com



G355a
 1" = 40'
 C4.1

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CURB & GUTTER LEGEND

- 1) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: _____
- 2) CURB AND GUTTER DENOTED BY: _____
- 3) DEPRESSED CURB AND GUTTER DENOTED BY: _____
- 4) VARIABLE HEIGHT CURB AND GUTTER DENOTED BY: _____

PAVEMENT MARKING LEGEND

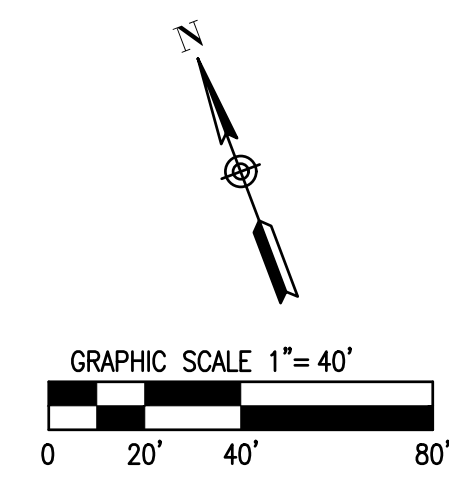
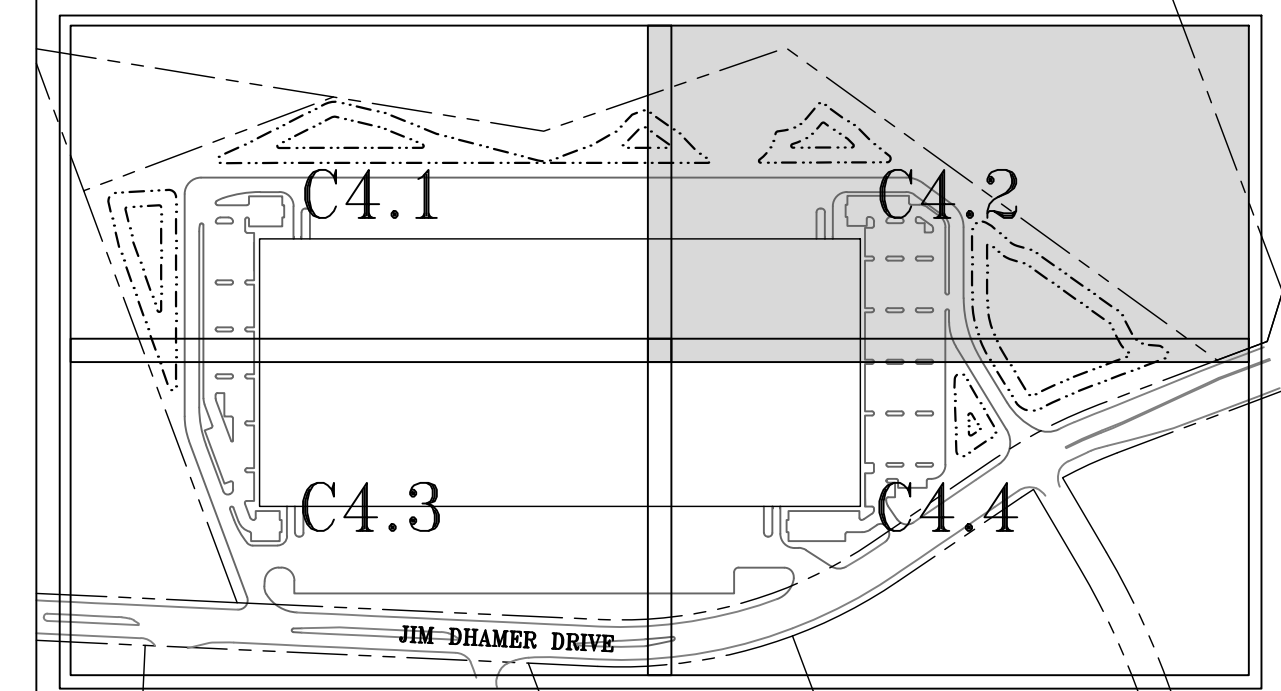
- ① TEMPORARY DOUBLE CENTERLINE 4" YELLOW (11" 0-C)
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EXPANSION JOINTS @ 500' MAX
- LIGHT DUTY PAVEMENT**
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12.0" CA-6 BASE COURSE

NOTE: REFER TO SHEET C4.0 FOR DIMENSIONAL CONTROL & PAVING NOTES.

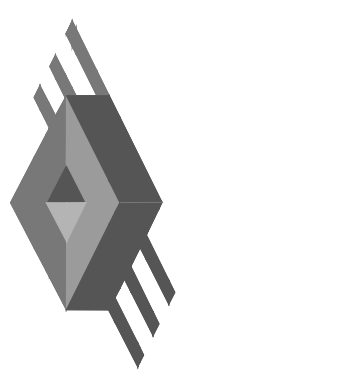
KEY MAP



| | | |
|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |
| No. | Description | Date |

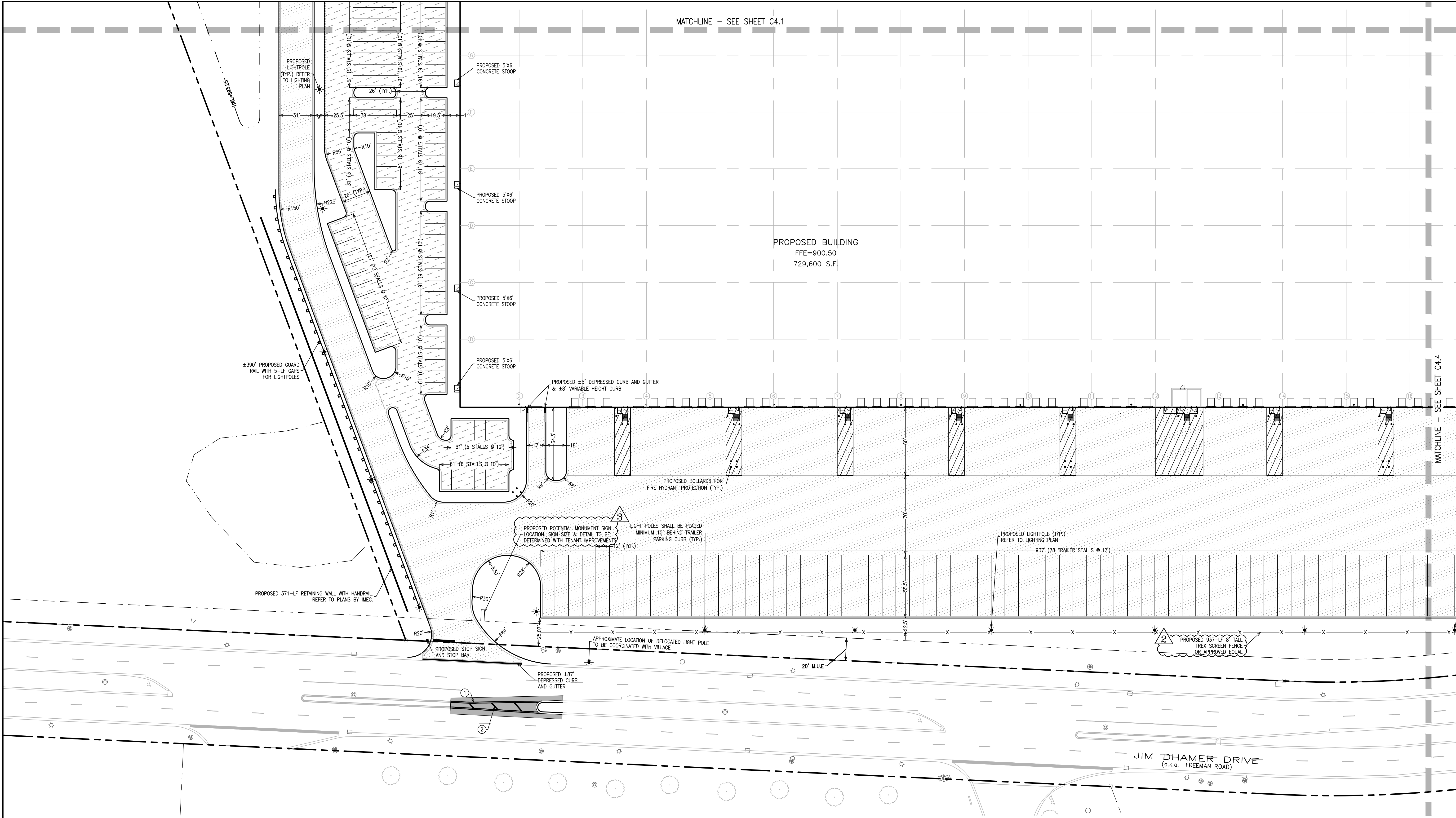
DIMENSIONAL CONTROL & PAVING
PLAN - NORTHEAST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
1335 Butterfield Rd, Suite 300, Downers Grove, IL 60115
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



G355a
1" = 40'
C4.2

MATCHLINE - SEE SHEET C4.1



PROPOSED BUILDING
FFE=900.50
729,600 S.F.

MATCHLINE - SEE SHEET C4.4

CURB & GUTTER LEGEND

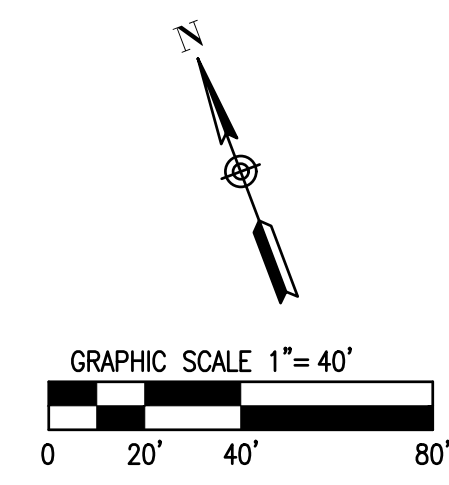
- 1) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: _____
- 2) CURB AND GUTTER DENOTED BY: _____
- 3) DEPRESSED CURB AND GUTTER DENOTED BY: _____
- 4) VARIABLE HEIGHT CURB AND GUTTER DENOTED BY: _____

PAVEMENT MARKING LEGEND

- ① TEMPORARY DOUBLE CENTERLINE 4" YELLOW (11" O-C)
- ② TEMPORARY MEDIAN DIAGONAL - 12" YELLOW @ 45 DEGREES (15' O-C)

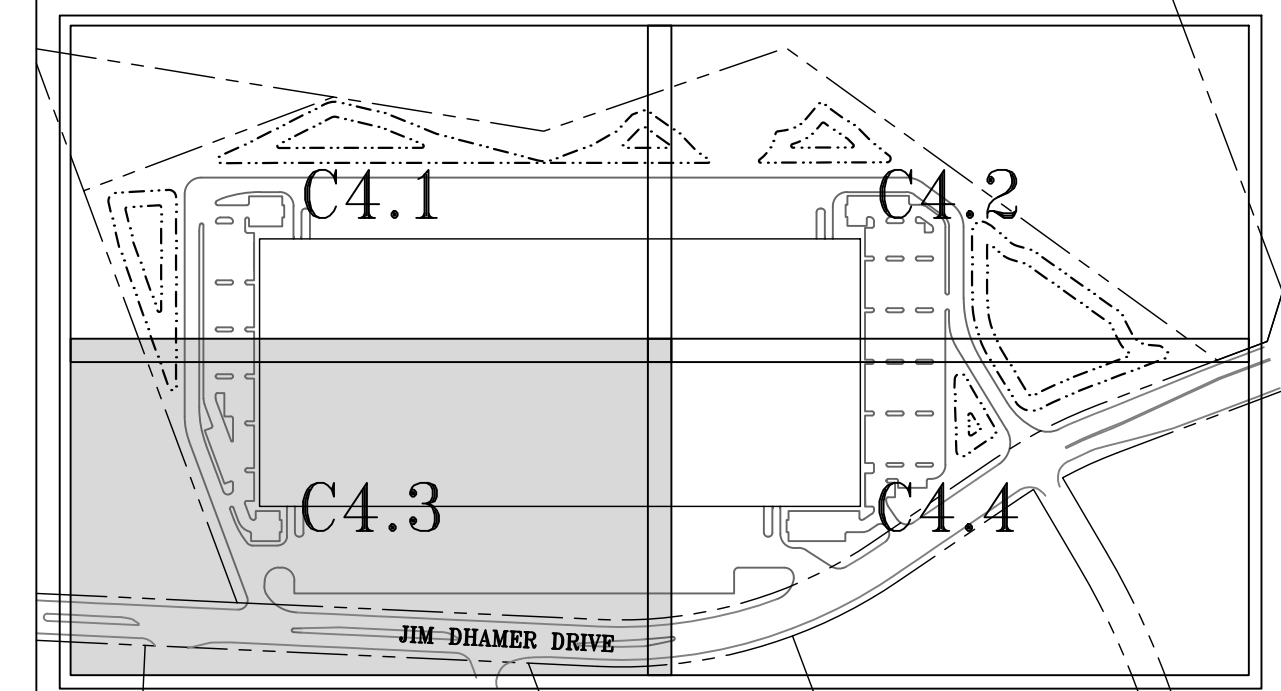
PAVEMENT LEGEND

- HEAVY DUTY PAVEMENT**
7.5" UNREINFORCED PCC PAVEMENT, 4,000 PSI, A/E
4.0" CA-6 BASE COURSE
CONTRACTION JOINTS @ 15' C-C MAX; 12' C-C PREFERABLE
EXPANSION JOINTS @ 500' MAX
- LIGHT DUTY PAVEMENT**
2.0" SURFACE COURSE, MIX "D", N50
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8.0" CA-6 BASE COURSE
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5.0" PCC PAVEMENT (4,000 PSI UNREINFORCED,
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CONTRACTION JOINTS @ 5' C-C
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- TEMPORARY ROADWAY PAVEMENT**
5.0" HMA BINDER COURSE, IL-19.0, N50
12.0" CA-6 BASE COURSE



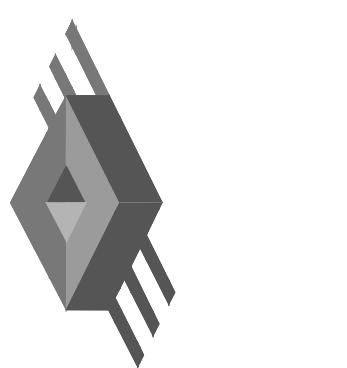
NOTE: REFER TO SHEET C4.0 FOR DIMENSIONAL CONTROL & PAVING NOTES.

KEY MAP



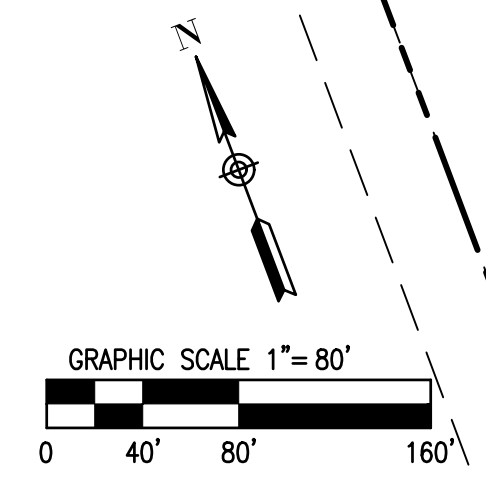
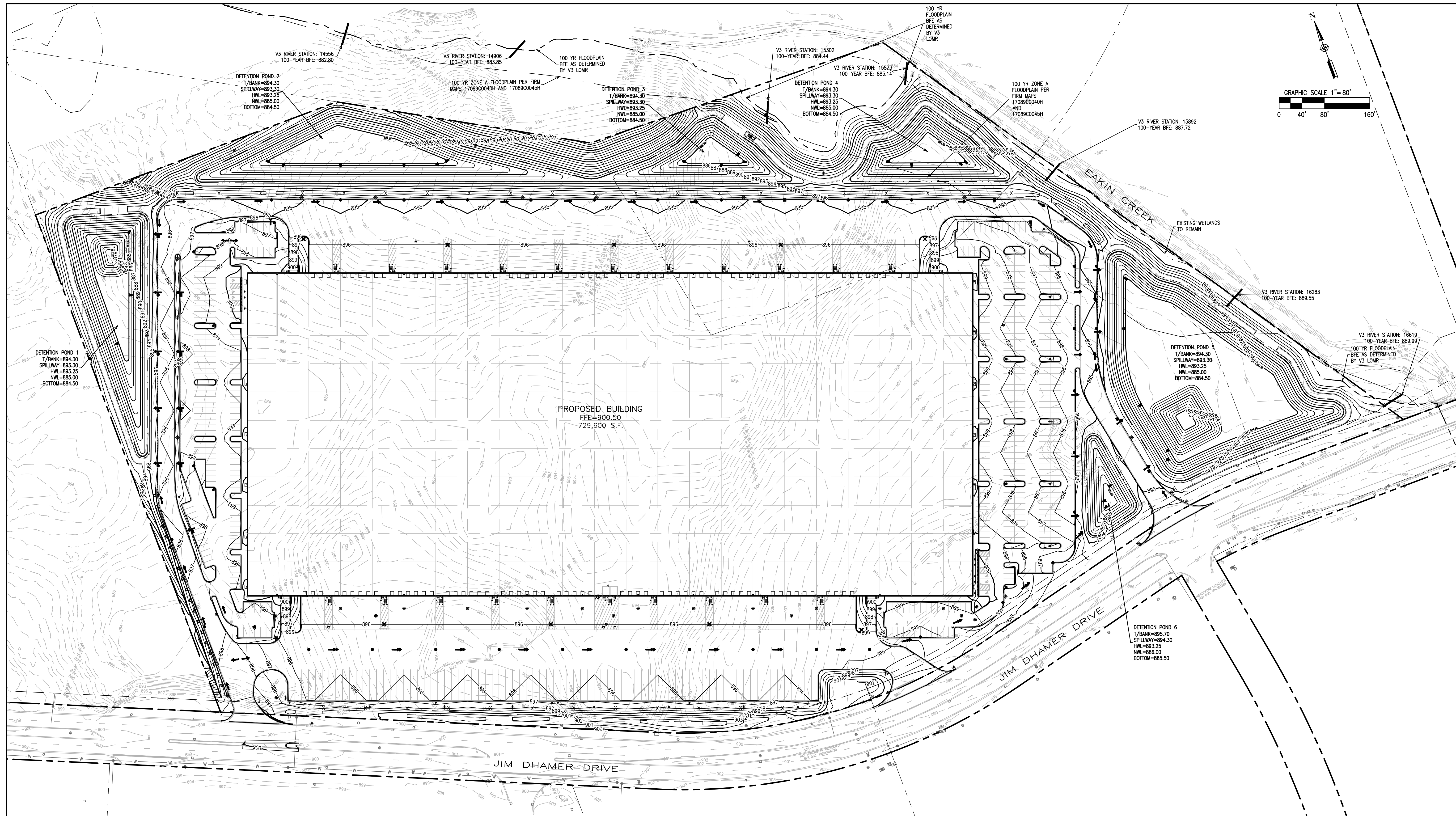
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| DIMENSIONAL CONTROL & PAVING | | | |
| PLAN - SOUTHWEST | | | |
| VENTUREPARK 47 | | | |
| VENTURE ONE REAL ESTATE, LLC. | | | |
| HUNTLEY, ILLINOIS | | | |

JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60155
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



| | |
|----------|--|
| G355a | |
| 1" = 40' | |
| C4.3 | |

| No. | Description | Date |
|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |



PROPOSED BUILDING
FFE=900.50
729,600 S.F.

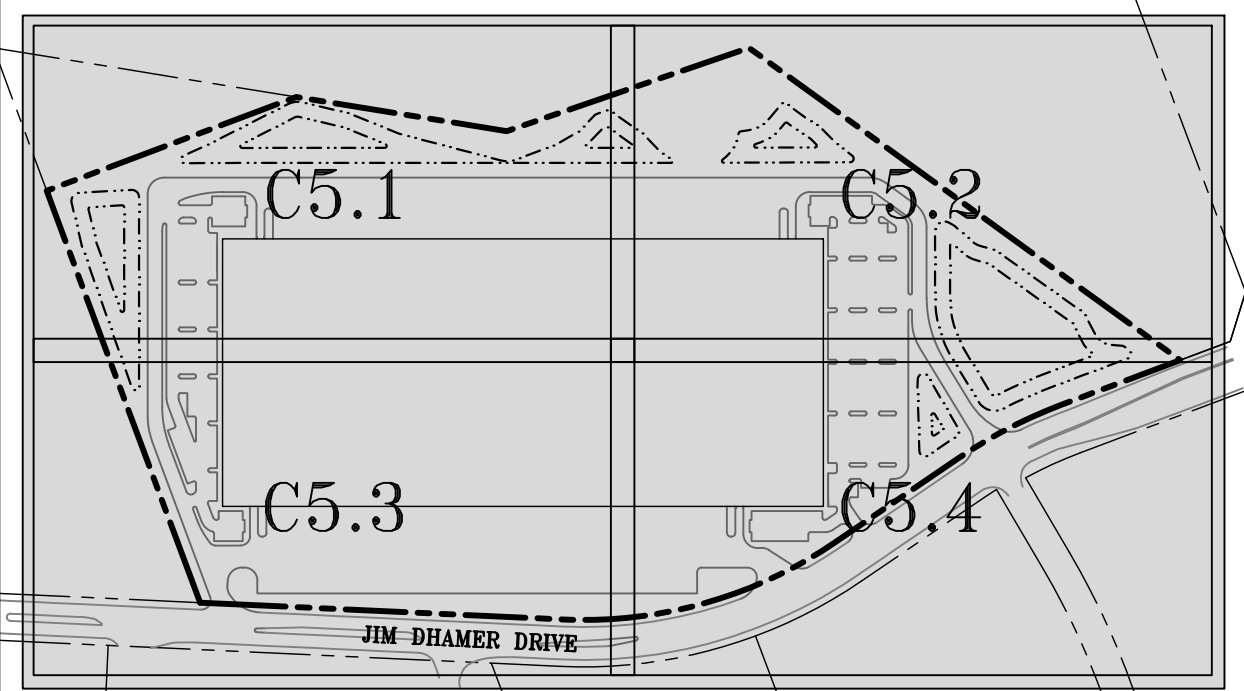
GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 4%. IF THE DRIVEWAY LAYOUT OR LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
- 9) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 10) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- 11) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.

GRADING LEGEND

- xxx.xx = PROPOSED SPOT GRADE
- TW=xxx.xx = PROPOSED GRADE AT TOP OF WALL
- BW=xxx.xx = PROPOSED GRADE AT BOTTOM OF WALL
- EP=xxx.xx = PROPOSED EDGE OF PAVEMENT
- BC=xxx.xx = PROPOSED BACK OF CURB
- TDC=xxx.xx = PROPOSED TOP OF DEPRESSED CURB
- EX=xxx.xx = EXISTING ELEVATION
- +xxx.xx(ME) = MATCH EXISTING ELEVATION
- = DRAINAGE FLOW ARROWS
- = OVERLAND FLOW ROUTE
- = 100-YEAR DESIGN STORM SEWER

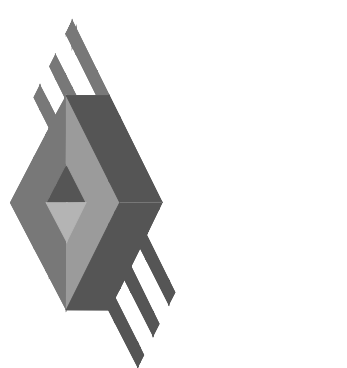
KEY MAP



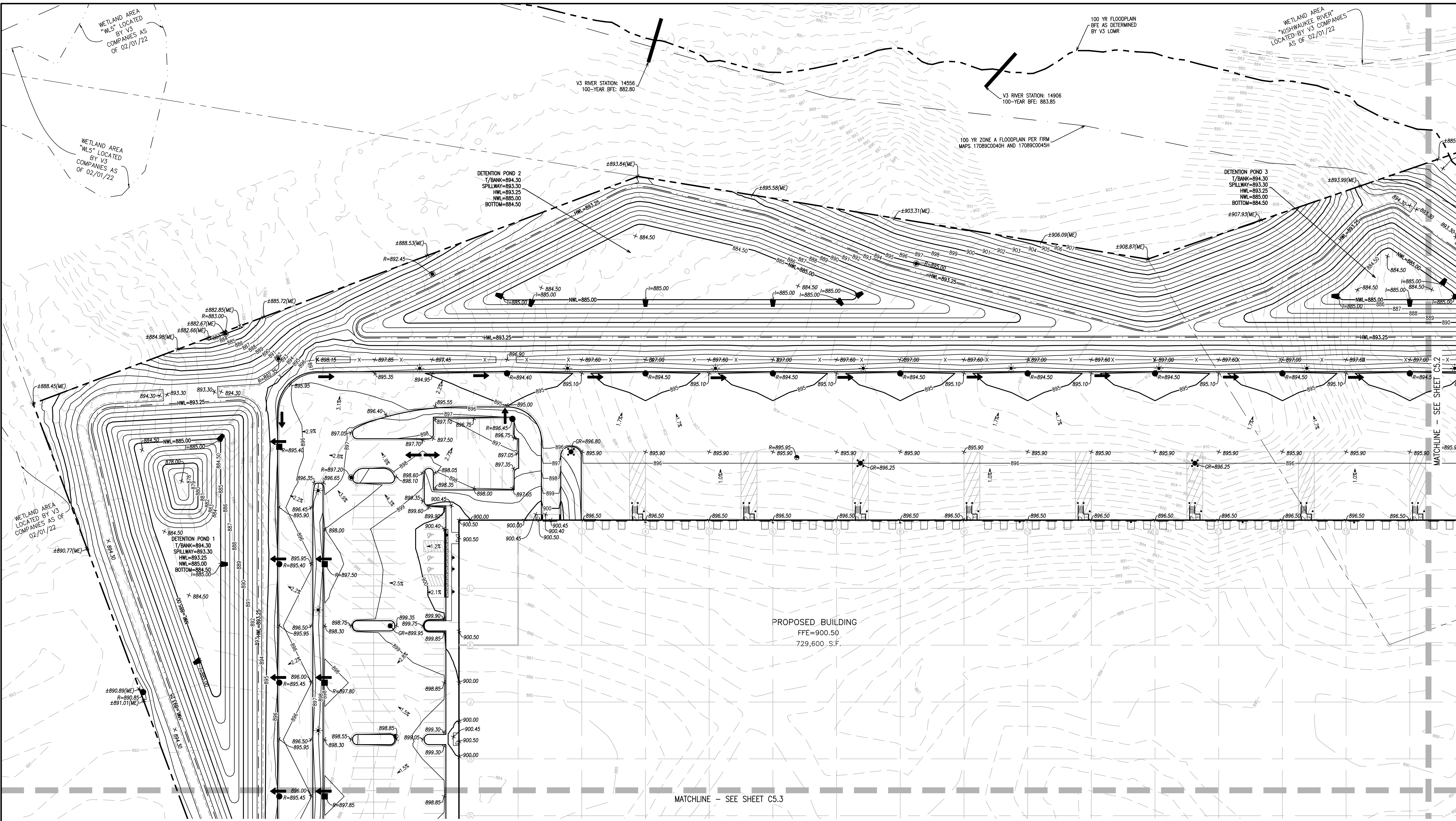
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|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |
| No. | Description | Date |

OVERALL GRADING PLAN
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



G355a
1" = 80'
C5.0



| | | |
|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |
| No. | Description | Date |

GRADING PLAN – NORTHWEST
 VENTUREPARK 47
 VENTURE ONE REAL ESTATE, LLC.
 HUNTLEY, ILLINOIS

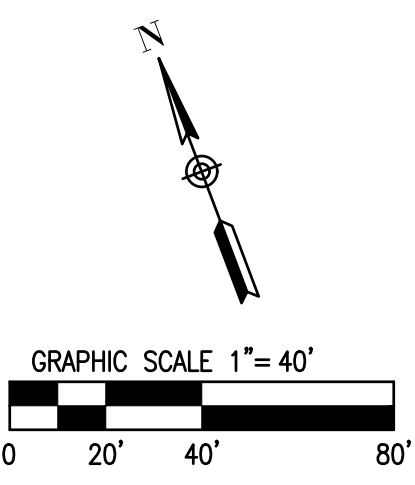
JACOB & HEFNER ASSOCIATES
 1335 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com

G355a
 1" = 40'
 C5.1

MATCHLINE – SEE SHEET C5.3

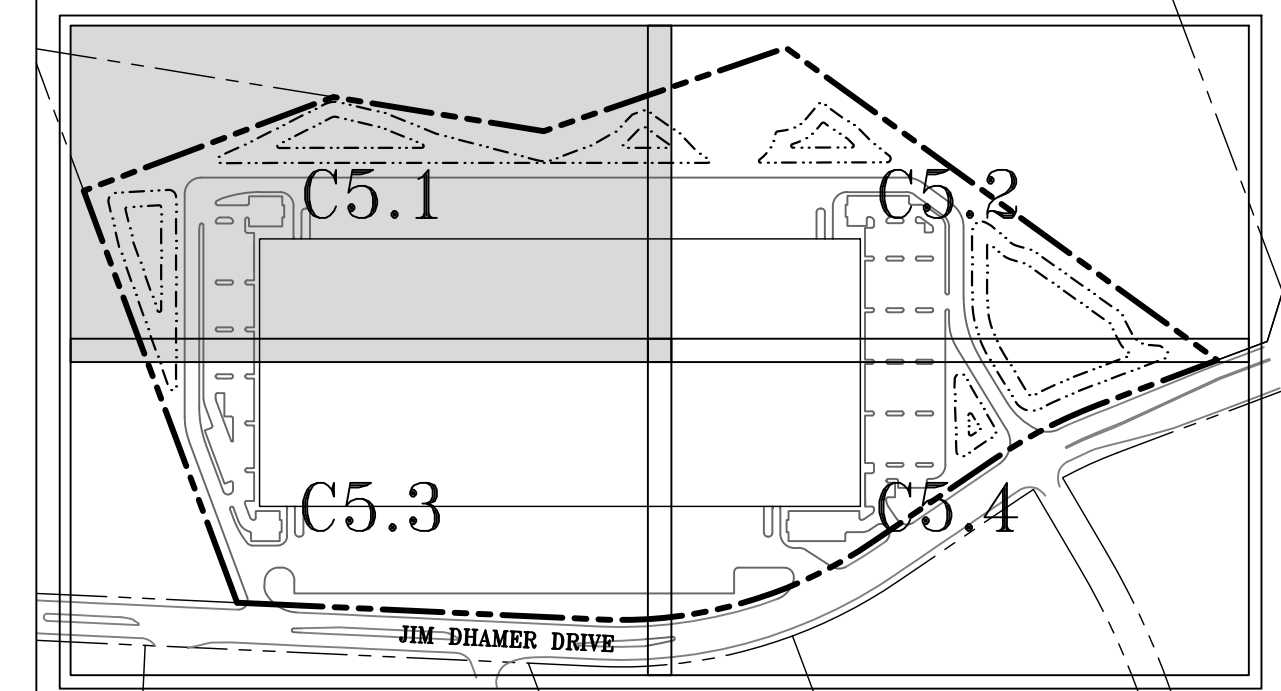
GRADING LEGEND

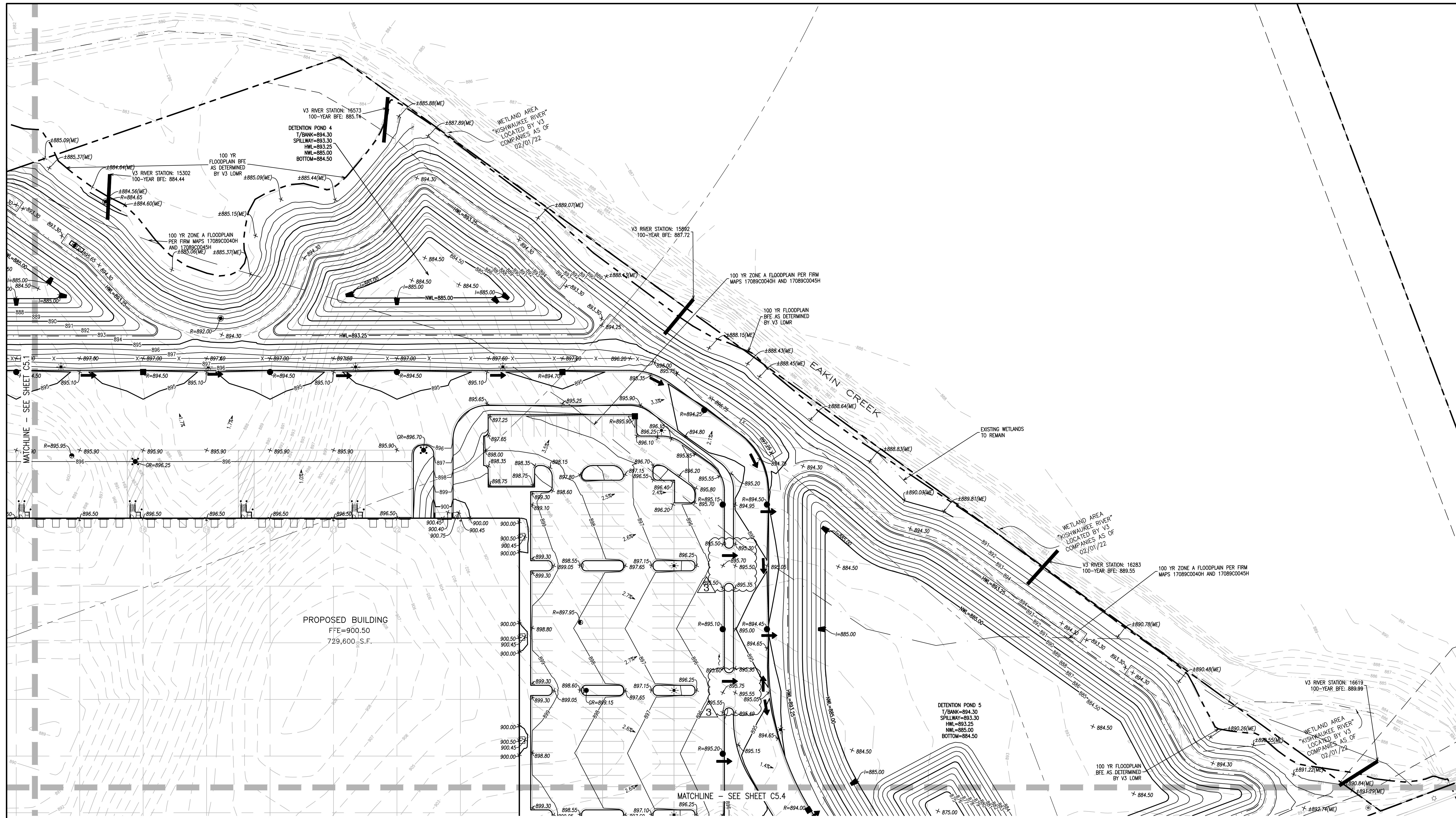
- xxx.xx = PROPOSED SPOT GRADE
- TW=xxx.xx = PROPOSED GRADE AT TOP OF WALL
- BW=xxx.xx = PROPOSED GRADE AT BOTTOM OF WALL
- EP=xxx.xx = PROPOSED EDGE OF PAVEMENT
- BC=xxx.xx = PROPOSED BACK OF CURB
- TDC=xxx.xx = PROPOSED TOP OF DEPRESSED CURB
- EX=xxx.xx = EXISTING ELEVATION
- ±xxx.xx(ME) = MATCH EXISTING ELEVATION
- = DRAINAGE FLOW ARROWS
- = OVERLAND FLOW ROUTE
- = 100-YEAR DESIGN STORM SEWER



NOTE: REFER TO SHEET C5.0 FOR GRADING NOTES.

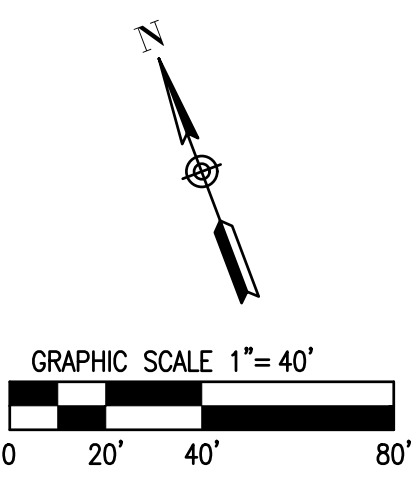
KEY MAP





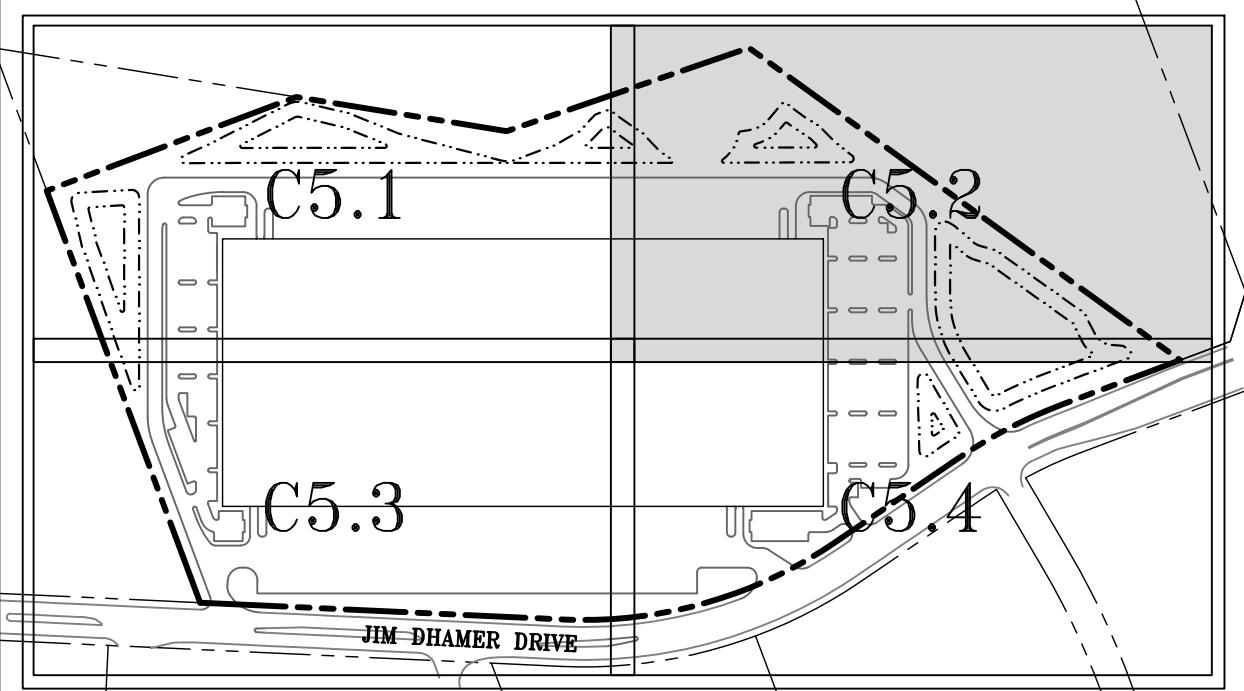
GRADING LEGEND

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- = DRAINAGE FLOW ARROWS
- = OVERLAND FLOW ROUTE
- = 100-YEAR DESIGN STORM SEWER



NOTE: REFER TO SHEET C5.0 FOR GRADING NOTES.

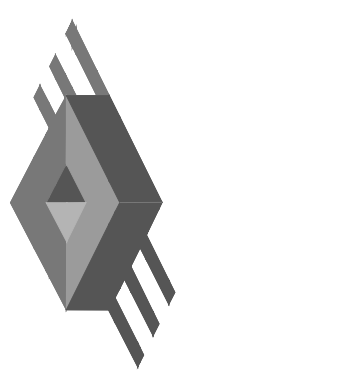
KEY MAP



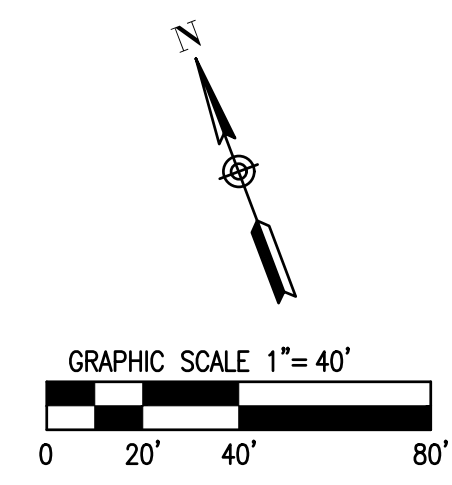
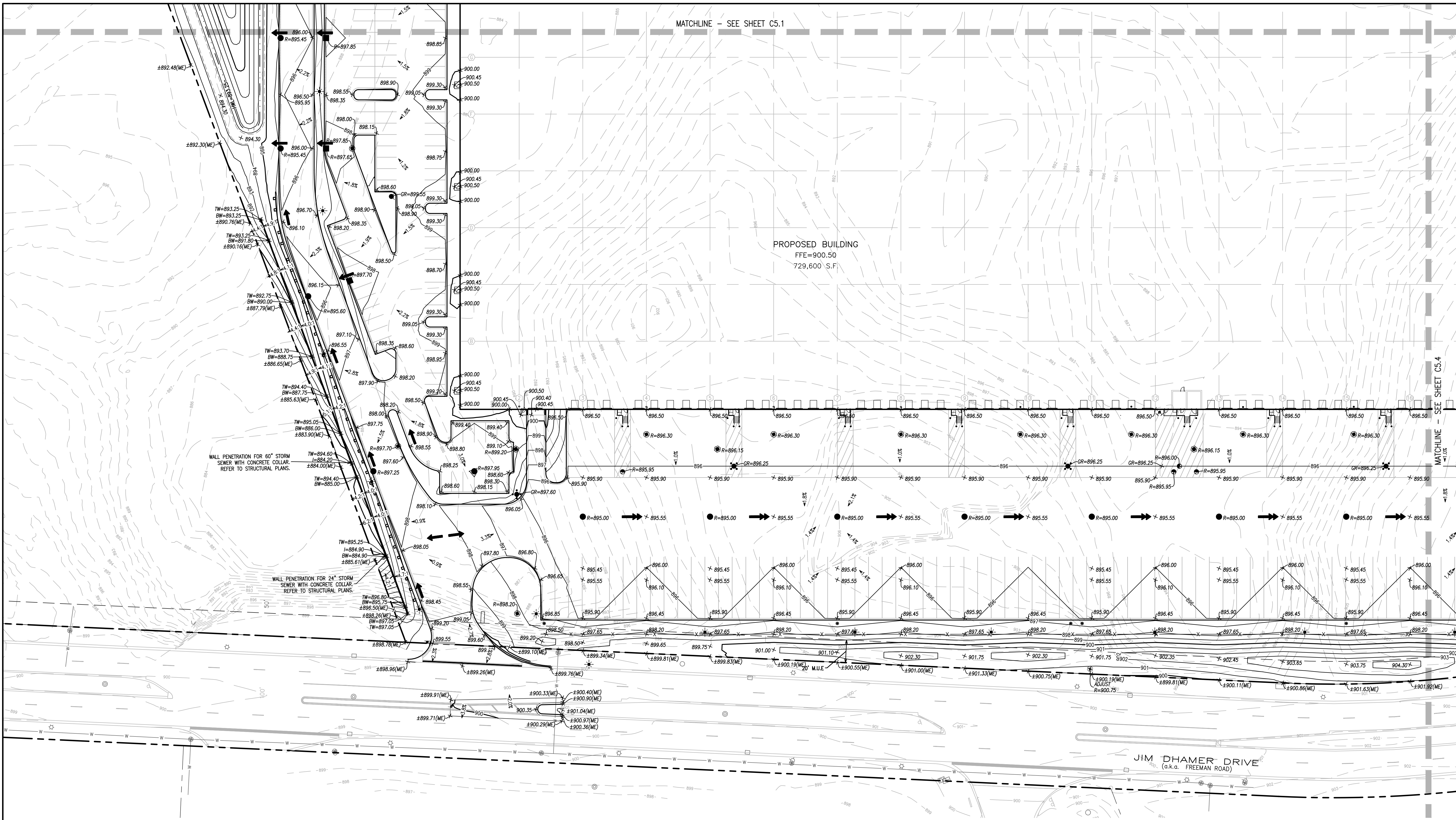
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|-----|------------------------|----------|
| No. | Description | Date |
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |

GRADING PLAN - NORTHEAST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com



G355a
1" = 40'
C5.2

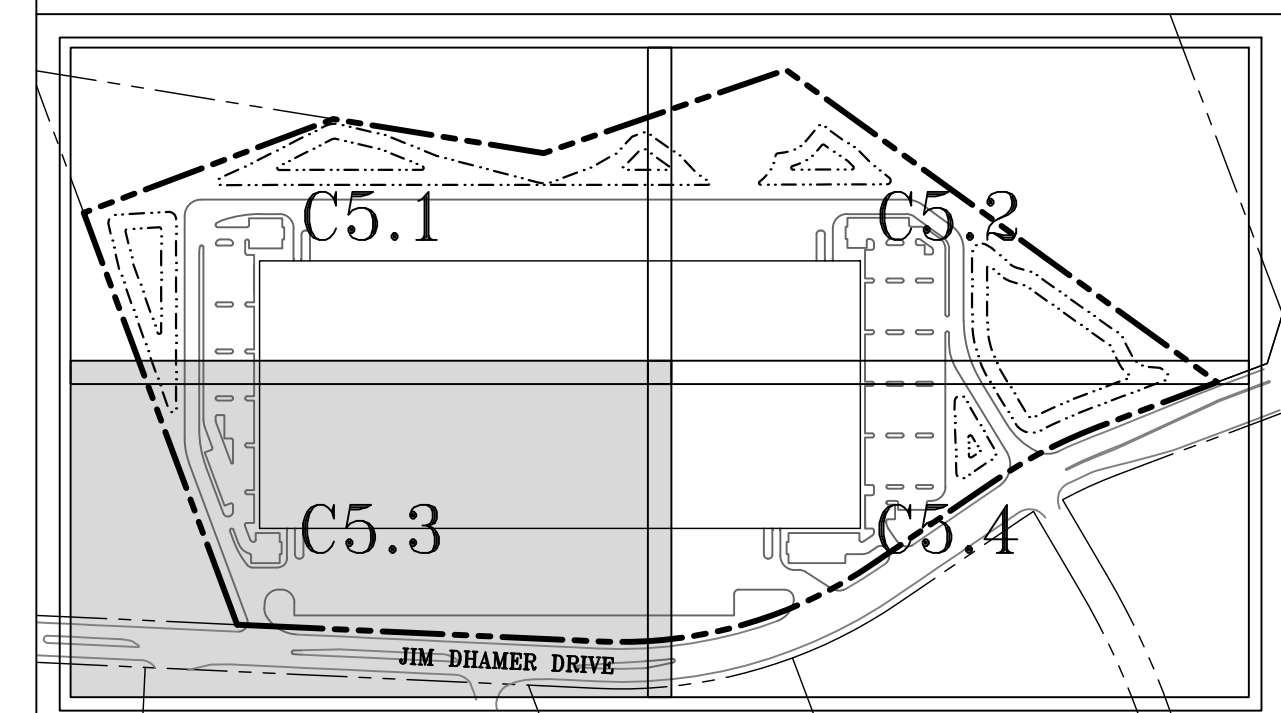


GRADING LEGEND

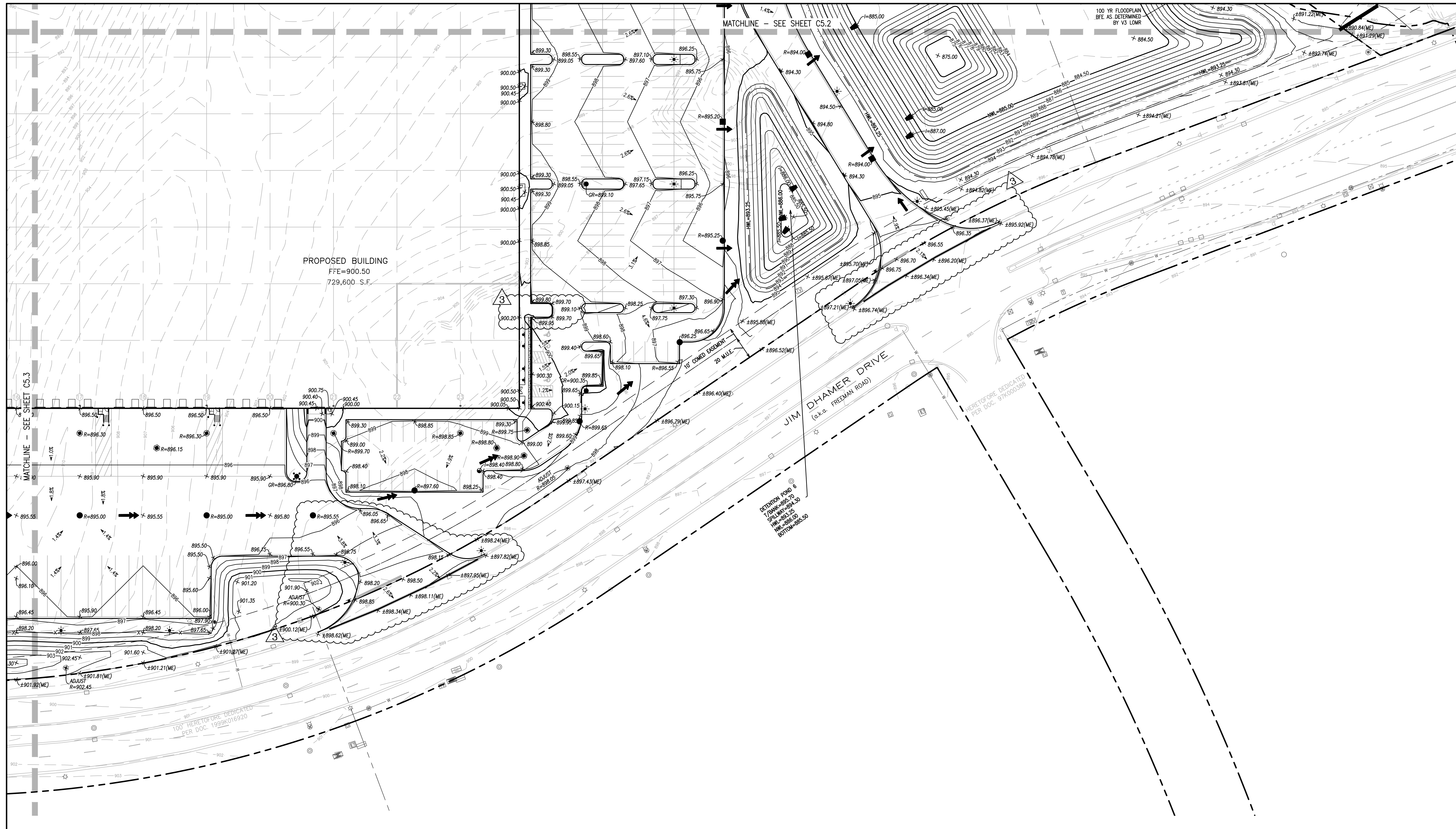
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- ↘ = DRAINAGE FLOW ARROWS
- = OVERLAND FLOW ROUTE
- = 100-YEAR DESIGN STORM SEWER

NOTE: REFER TO SHEET C5.0 FOR GRADING NOTES.

KEY MAP



| | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|
| <p>JACOB & HEFNER ASSOCIATES 1335 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com</p> | |
| <p>GRADING PLAN - SOUTHWEST VENTUREPARK 47 VENTURE ONE REAL ESTATE, LLC. HUNTLEY, ILLINOIS</p> | |
| <p>3 REVISED PER VILLAGE 05/09/22</p> | <p>2 PER ARCHITECT AND CITY 04/22/22</p> |
| <p>1 ISSUED FOR PERMIT 04/04/22</p> | <p>Date</p> |
| <p>G355a</p> | <p>1" = 40'</p> |
| <p>C5.3</p> | |

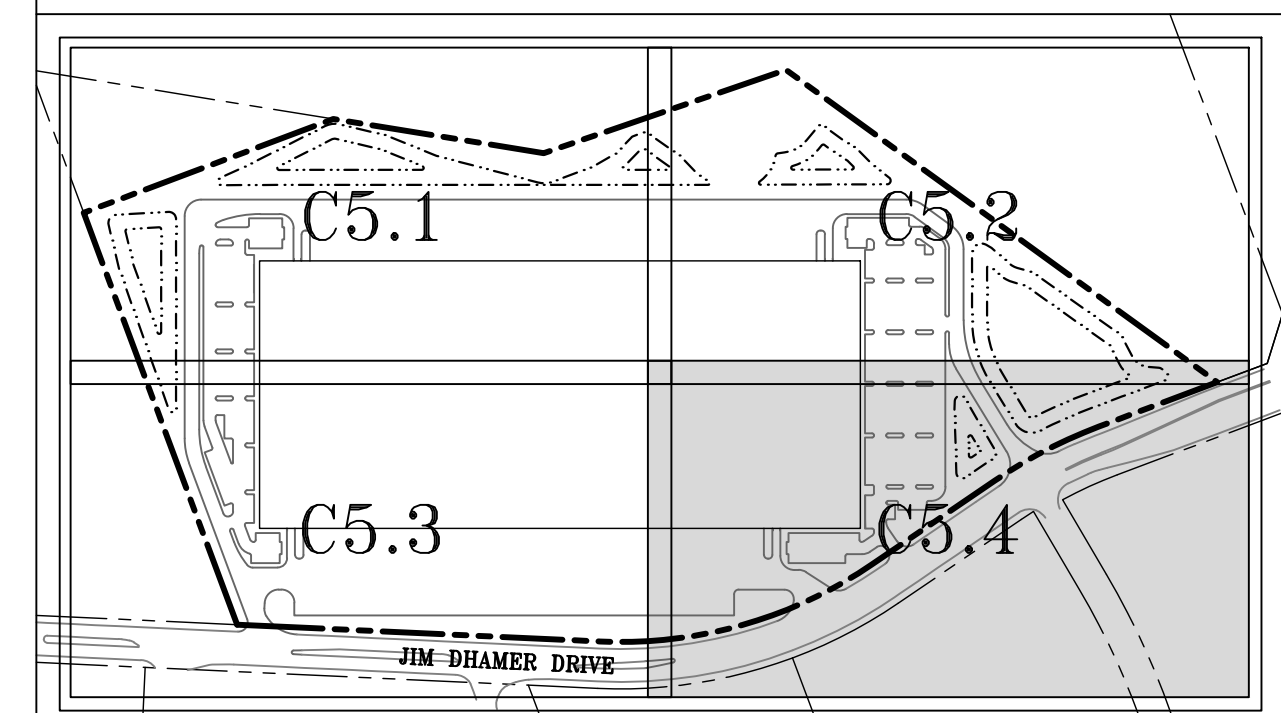


GRADING LEGEND

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- TW=xxx.xx = PROPOSED GRADE AT TOP OF WALL
- BW=xxx.xx = PROPOSED GRADE AT BOTTOM OF WALL
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NOTE: REFER TO SHEET C5.0 FOR GRADING NOTES.

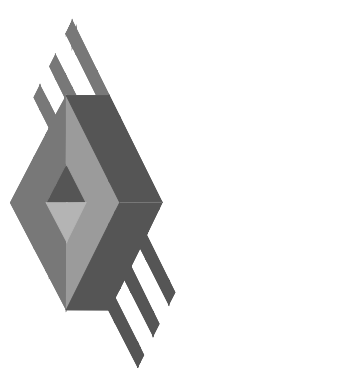
KEY MAP



| No. | Description | Date |
|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |

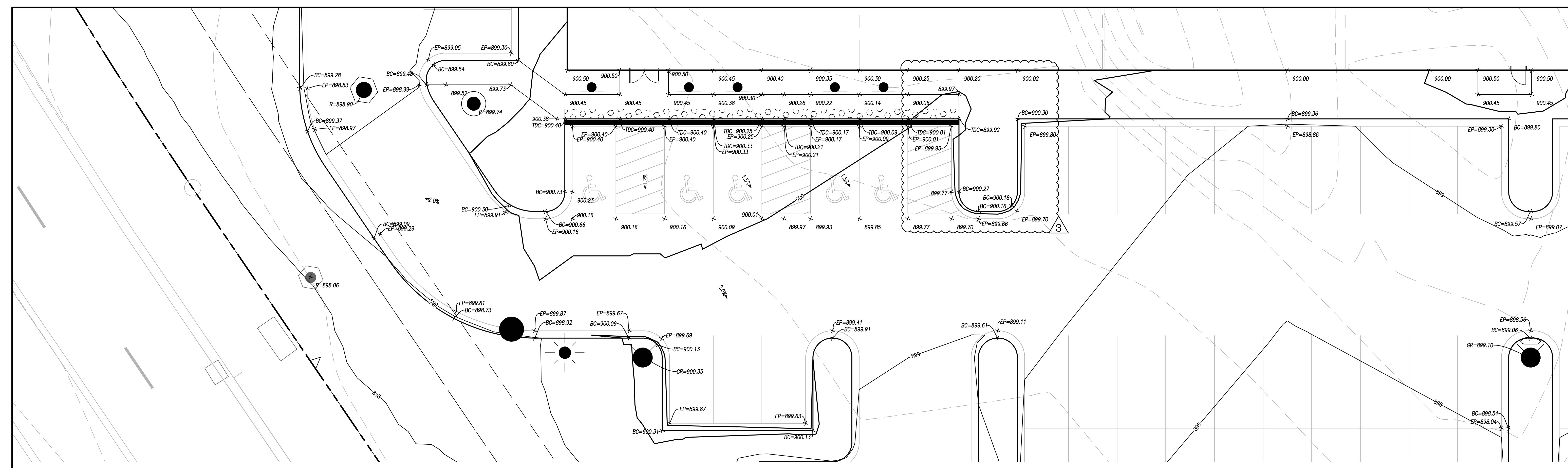
GRADING PLAN – SOUTHEAST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
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 PHONE: (630) 652-4600, FAX: (630) 652-4601
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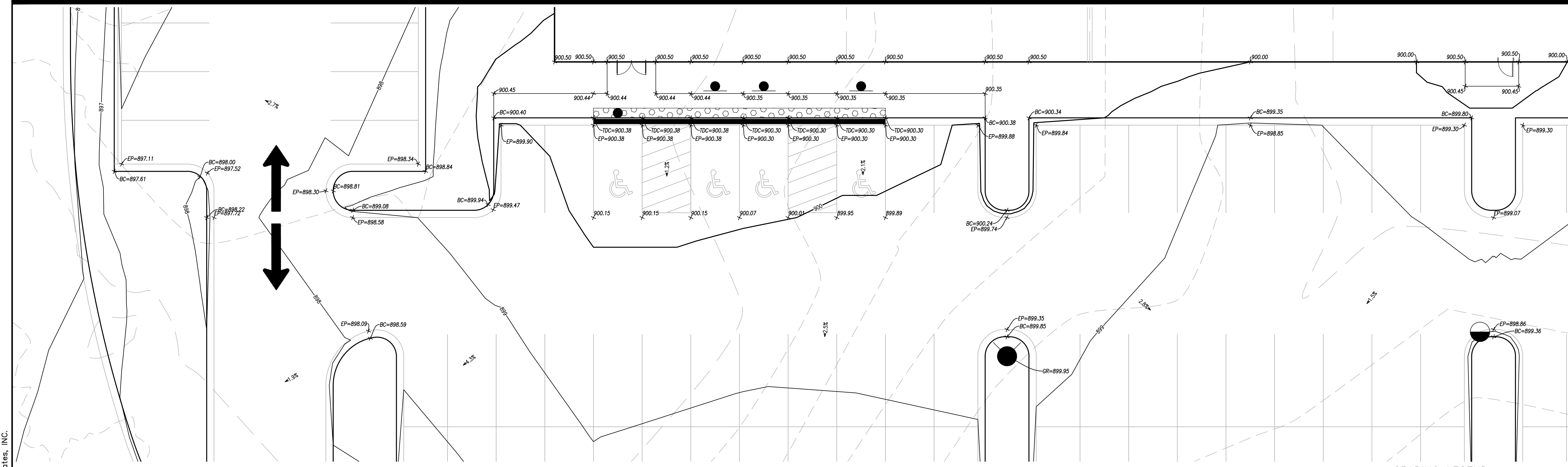


G355a
 1" = 40'
 C5.4

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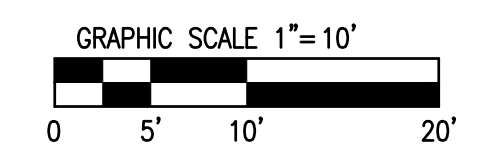


ADA PARKING STALLS AT SOUTHEAST OFFICE



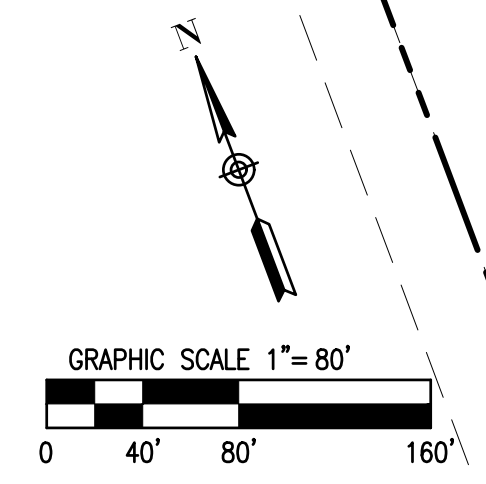
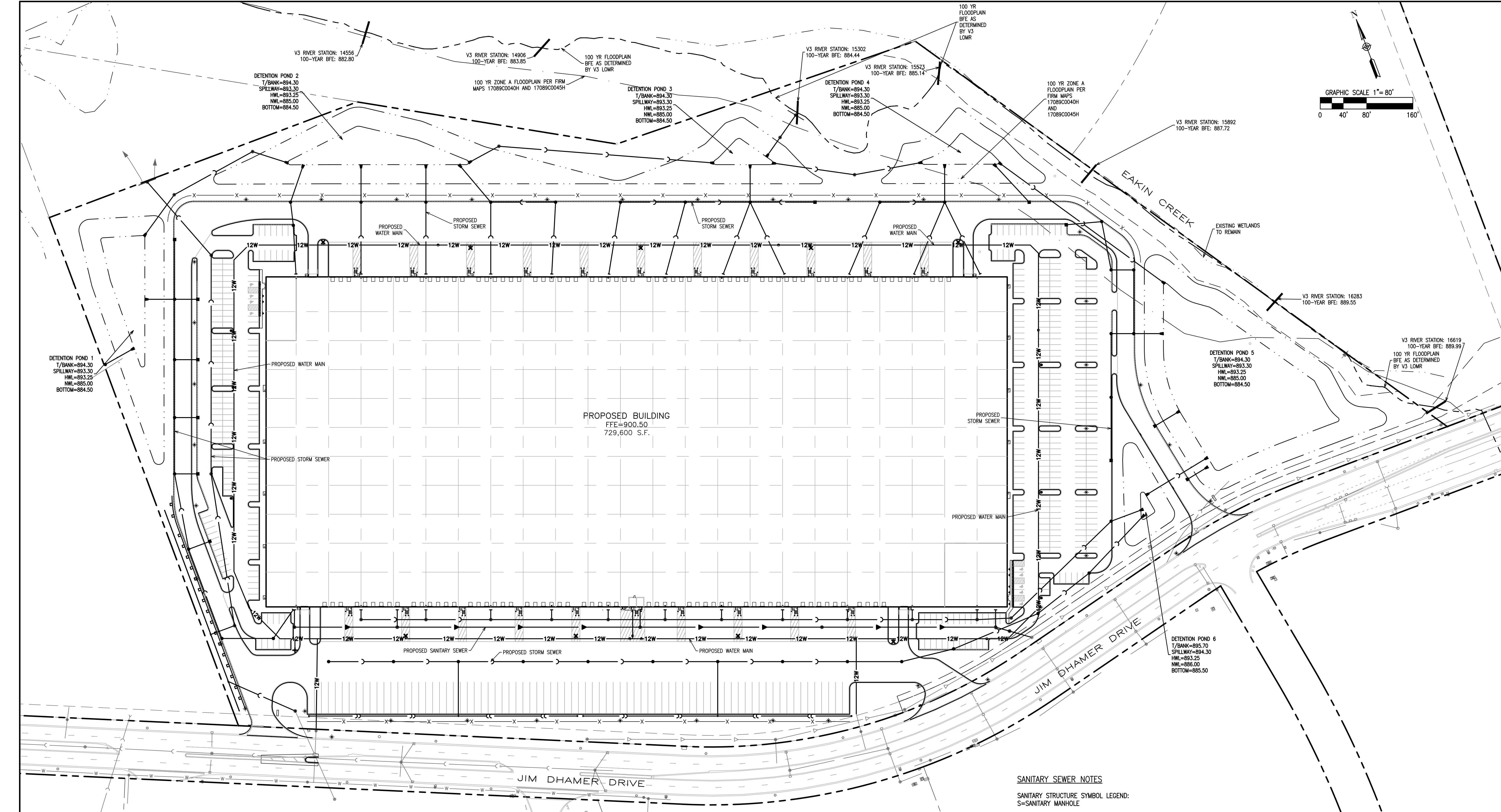
ADA PARKING STALLS AT NORTHWEST OFFICE

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 - = OVERLAND FLOW ROUTE
 - = 100-YEAR DESIGN STORM SEWER



NOTE: REFER TO SHEET C5.0 FOR GRADING NOTES.

| DETAIL GRADING | | | | | | | | | | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|-------------|------|---|---------------------|----------|---|------------------------|----------|---|-------------------|----------|
| VENTUREPARK 47 | | | | | | | | | | | | | |
| VENTURE ONE REAL ESTATE, LLC. | | | | | | | | | | | | | |
| HUNTLEY, ILLINOIS | | | | | | | | | | | | | |
| JACOB & HEFNER ASSOCIATES 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">No.</th> <th style="width: 85%;">Description</th> <th style="width: 10%;">Date</th> </tr> <tr> <td style="text-align: center;">3</td> <td>REVISED PER VILLAGE</td> <td style="text-align: center;">05/09/22</td> </tr> <tr> <td style="text-align: center;">2</td> <td>PER ARCHITECT AND CITY</td> <td style="text-align: center;">04/22/22</td> </tr> <tr> <td style="text-align: center;">1</td> <td>ISSUED FOR PERMIT</td> <td style="text-align: center;">04/04/22</td> </tr> </table> | No. | Description | Date | 3 | REVISED PER VILLAGE | 05/09/22 | 2 | PER ARCHITECT AND CITY | 04/22/22 | 1 | ISSUED FOR PERMIT | 04/04/22 |
| No. | Description | Date | | | | | | | | | | | |
| 3 | REVISED PER VILLAGE | 05/09/22 | | | | | | | | | | | |
| 2 | PER ARCHITECT AND CITY | 04/22/22 | | | | | | | | | | | |
| 1 | ISSUED FOR PERMIT | 04/04/22 | | | | | | | | | | | |
| G355a | | | | | | | | | | | | | |
| 1" = 10' | | | | | | | | | | | | | |
| C5.5 | | | | | | | | | | | | | |



PROPOSED BUILDING
FFE=900.50
729,600 S.F.

- UTILITY NOTES**
- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO TERMINATE PROPOSED UTILITIES 5-FT OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
 - ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
 - ALL EXISTING UTILITY RIMS, GRADES, RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
 - PROPOSED RIM GRADES FOR INLETS ARE FROM EDGE OF PAVEMENT.
 - ALL UTILITY STRUCTURES SHALL HAVE NO MORE THAN 2 PRECAST ADJUSTING RINGS WITH 6" MAXIMUM HEIGHT ADJUSTMENT.
 - SELECTED GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS. TBF DENOTED BY: [Symbol]
 - OPEN CUTTING OF ROADWAYS OR PAVEMENT FOR UTILITY INSTALLATION SHALL BE FILLED WITH COMPACTED TRENCH BACKFILL UP TO THE PAVEMENT SUBGRADE. PROPOSED PAVEMENT SECTION SHALL MATCH EXISTING.
 - ALL MATERIALS INCORPORATED FOR PUBLIC UTILITIES SHALL CONFORM TO THE VILLAGE OF HUNTLEY'S APPROVED MATERIAL LIST. SEE SHEET C10.1 FOR ADDITIONAL INFORMATION.

- STORM SEWER NOTES**
- STORM STRUCTURE SYMBOL LEGEND:
 INL=INLET
 CB=CATCH BASIN
 MH=MANHOLE
 FES=FLARED END SECTION WITH GRATE
 UD=UNDERDRAIN
- FRAME AND GRATE/ID SYMBOL LEGEND:
 1C: IDOT TYPE 1 (CLOSED), NEENAH R1713, EJIW 105021
 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), EJIW 105021 (TYPE M1 GRATE)
 1FP: IDOT TYPE 1 (ADA), NEENAH R2504 (TYPE G GRATE), EJIW 105021 (TYPE M3 GRATE)
 8P: IDOT TYPE 8, NEENAH R4340-B, EJIW 6527
- EXAMPLE:
 M36
 A4#1P
 MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)
- ALL 12-INCH AND 15-INCH STORM SEWER SHALL BE RCP CLASS V. ALL OTHER STORM SEWERS SHALL BE REINFORCED CONCRETE CULVERT PIPE (RCP) CLASS IV, ASTM C 76, WITH "O" RING RUBBER GASKET JOINTS CONFORMING TO ASTM C-443.
 - ALL UNDERDRAINS SHALL BE PER IDOT STANDARDS OR AS SPECIFIED IN THE DETAIL.
 - ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.

- WATER MAIN NOTES**
- WATER MAIN STRUCTURE SYMBOL LEGEND:
 V=VALVE VAULT
 FH=FIRE HYDRANT ASSEMBLY
- ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON THE PLANS. AS AN ALTERNATE, WATER MAIN MAY BE C900.
 - ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON THE PLANS. AS AN ALTERNATE, FIRE HYDRANT LEADS MAY BE C900.
 - BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
 - MAINTAIN A MINIMUM OF 5.5-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER IEPA REQUIREMENTS.
 - ALL PROPOSED WATER MAIN INSTALLED WITHIN FILL MATERIAL SHALL BE RESTRAINED USING U.S. PIPE FIELD-LOK GASKETS OR APPROVED EQUIVALENT TO A POINT 50-FT PAST ON EACH SIDE THE AREA WHERE THE WATER MAIN IS INSTALLED WITHIN FILL.
 - ALL PUBLICLY OWNED HYDRANTS SHALL BE PAINTED RED. ALL PRIVATELY OWNER HYDRANTS SHALL BE PAINTED YELLOW.
 - CONTRACTOR SHALL COORDINATE ALL WATERMAIN SHUTDOWN WITH THE VILLAGE OF HUNTLEY.
 - ALL WATERMAIN SHALL BE POLYETHYLENE WRAPPED. THE POLYETHYLENE MATERIAL SHALL BE IN CONFORMANCE WITH THE VILLAGE OF HUNTLEY'S REGULATIONS.
 - ALL PUSH ON JOINTS A MINIMUM DISTANCE OF TWO JOINTS ON EITHER SIDE OF ALL WATERMAIN FITTINGS SHALL BE INSTALLED WITH FIELD LOK 350 GASKET JOIN RESTRAINTS.
 - ALL WATER MAIN VALVE VAULTS AND SANITARY SEWER MANHOLES SHALL BE BITUMINOUS COATED PER VILLAGE OF HUNTLEY REGULATIONS.

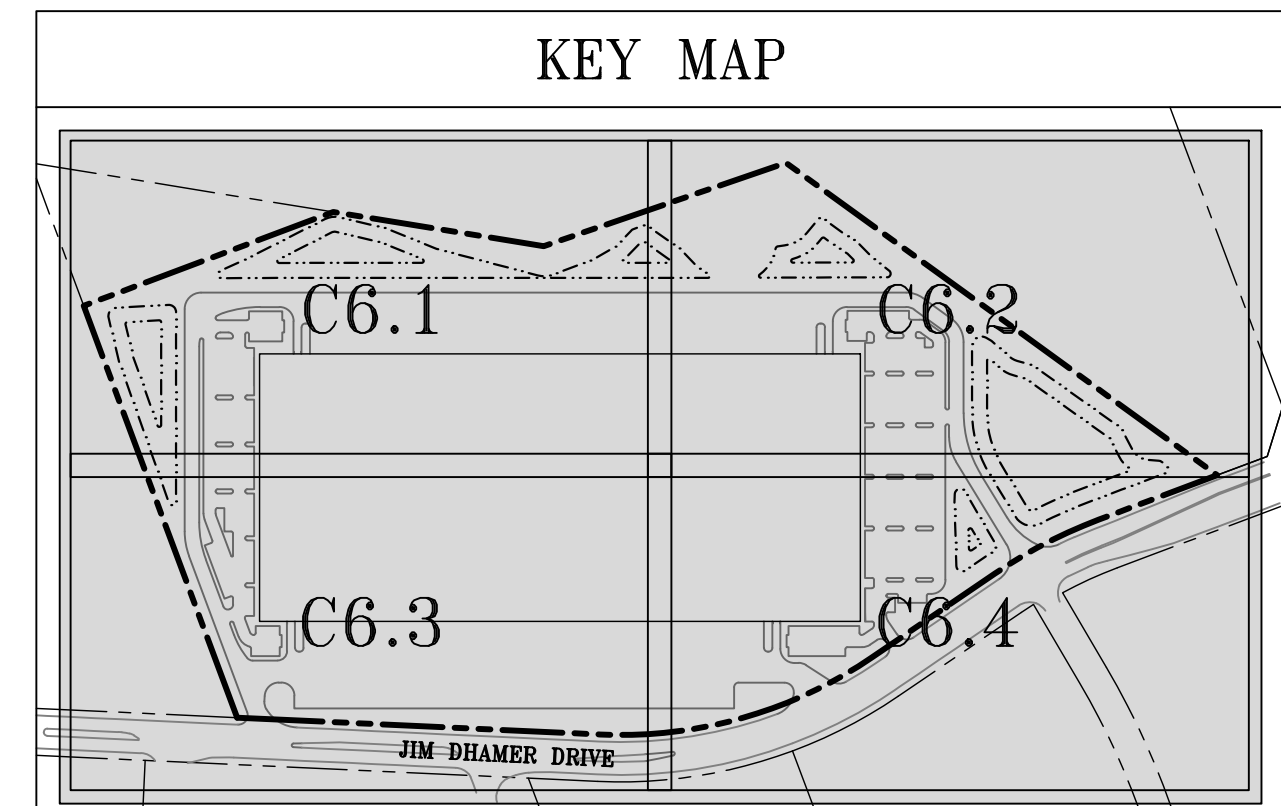
SANITARY SEWER NOTES

SANITARY STRUCTURE SYMBOL LEGEND:
 S=SANITARY MANHOLE

ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME & GRATE:
 1C: IDOT TYPE 1 (CLOSED), NEENAH R1713, EJIW 105021

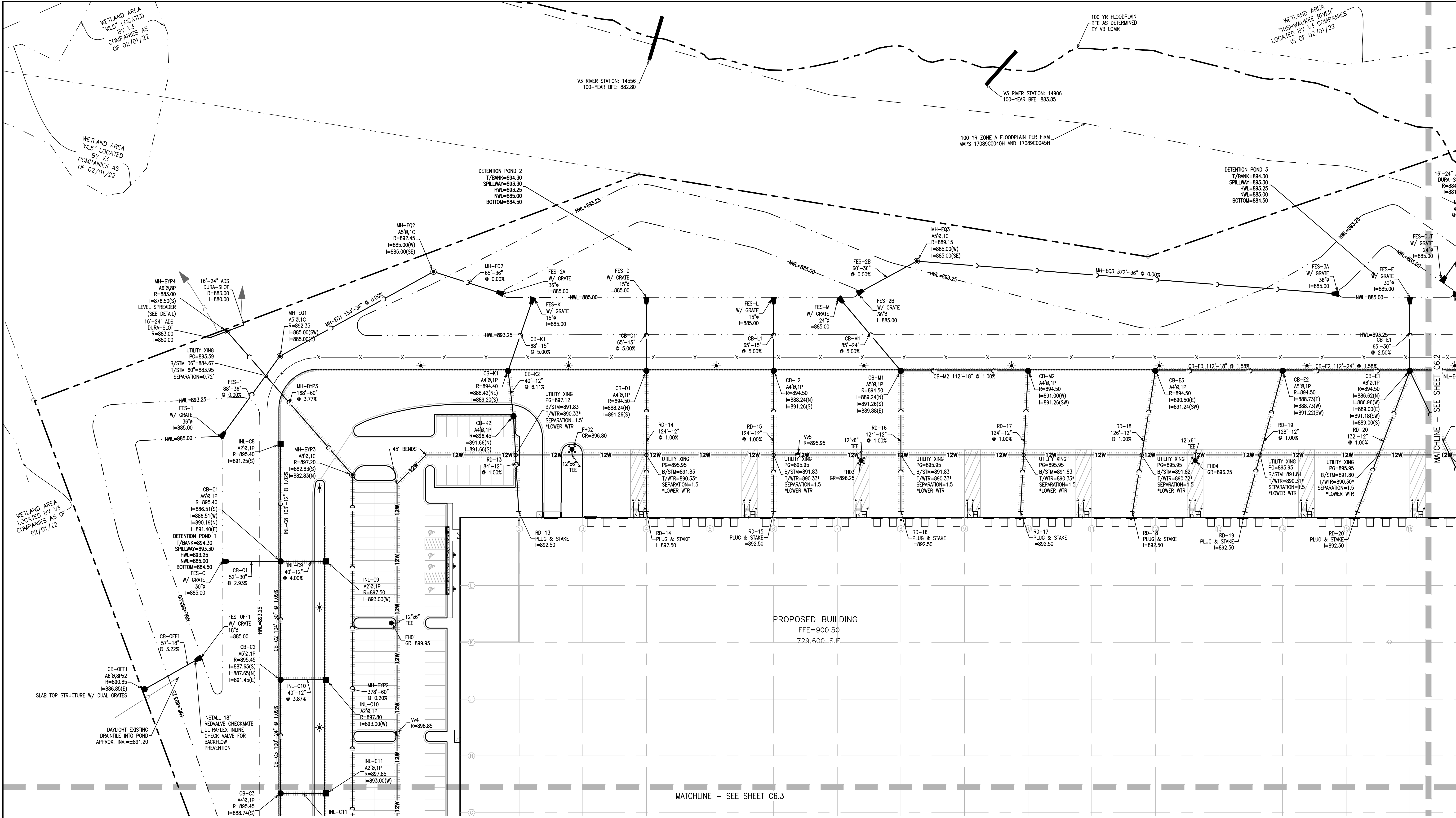
- ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON THE PLANS.

2 ROOF DRAIN LOCATIONS REVISED.



| | | | |
|--------------------------------------|----------|---------------------------------------------------------------------------------------------------------------------------------|----------|
| JACOB & HEFNER ASSOCIATES | | 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com | |
| OVERALL UTILITY PLAN | | VENTUREPARK 47 | |
| VENTURE ONE REAL ESTATE, LLC. | | HUNTLEY, ILLINOIS | |
| 3 REVISED PER VILLAGE | 05/09/22 | 2 PER ARCHITECT AND CITY | 04/22/22 |
| 1 ISSUED FOR PERMIT | 04/04/22 | No. | Date |
| Description | | No. | |
| G355a | | 1" = 80' | |
| C6.0 | | | |

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WETLAND AREA "WLS" LOCATED BY V3 COMPANIES AS OF 02/01/22

WETLAND AREA LOCATED BY V3 COMPANIES AS OF 02/01/22

V3 RIVER STATION: 14556
100-YEAR BFE: 882.80

V3 RIVER STATION: 14906
100-YEAR BFE: 883.85

100 YR ZONE A FLOODPLAIN PER FIRM MAPS 17089C0040H AND 17089C0045H

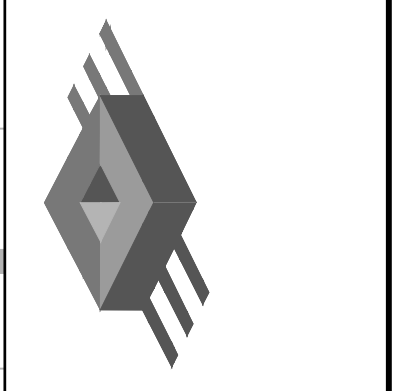
100 YR FLOODPLAIN BFE AS DETERMINED BY V3 LOMR

WETLAND AREA "KISHWAUKEE RIVER" LOCATED BY V3 COMPANIES AS OF 02/01/22

| | | |
|-----|------------------------|----------|
| No. | Description | Date |
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |

UTILITY PLAN - NORTHWEST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
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PHONE: (630) 652-4600, FAX: (630) 652-4601
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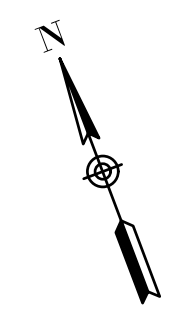
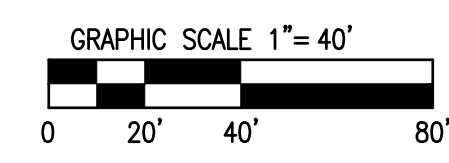
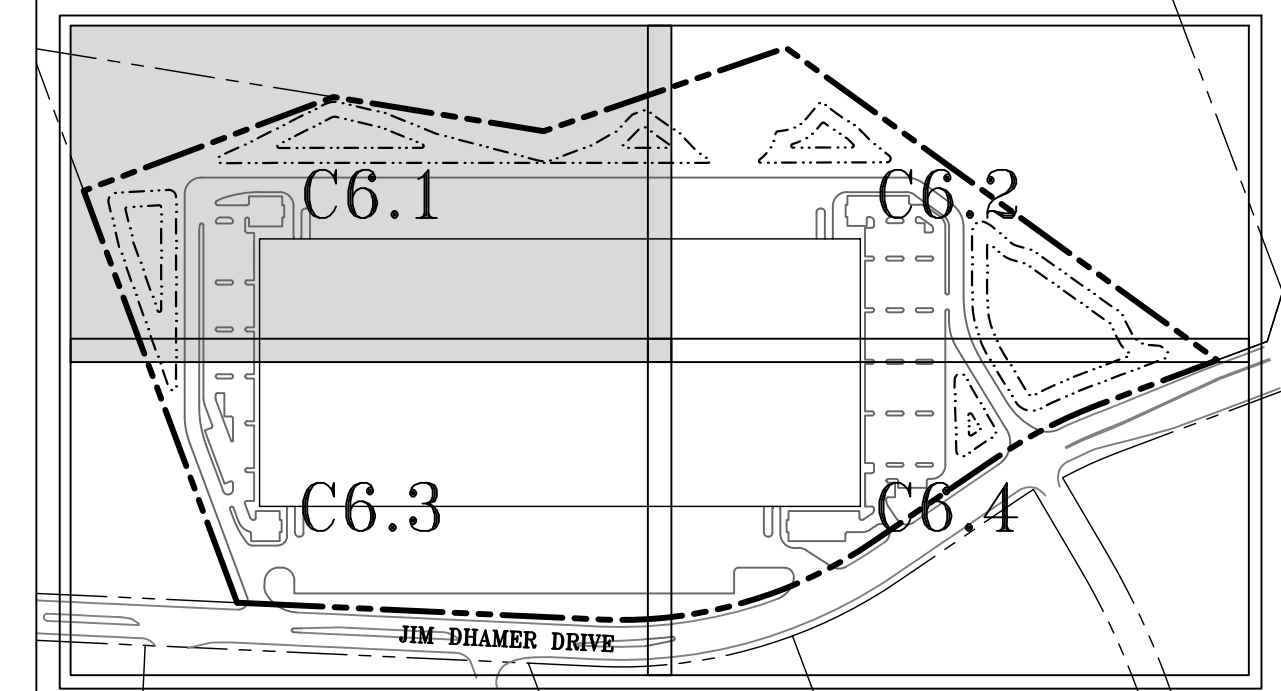


MATCHLINE - SEE SHEET C6.3

PROPOSED BUILDING
FFE=900.50
729,600 S.F.

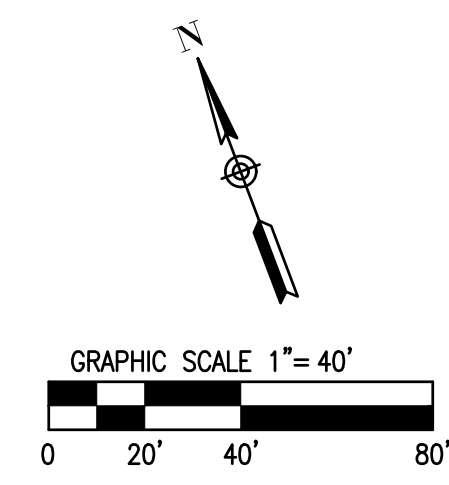
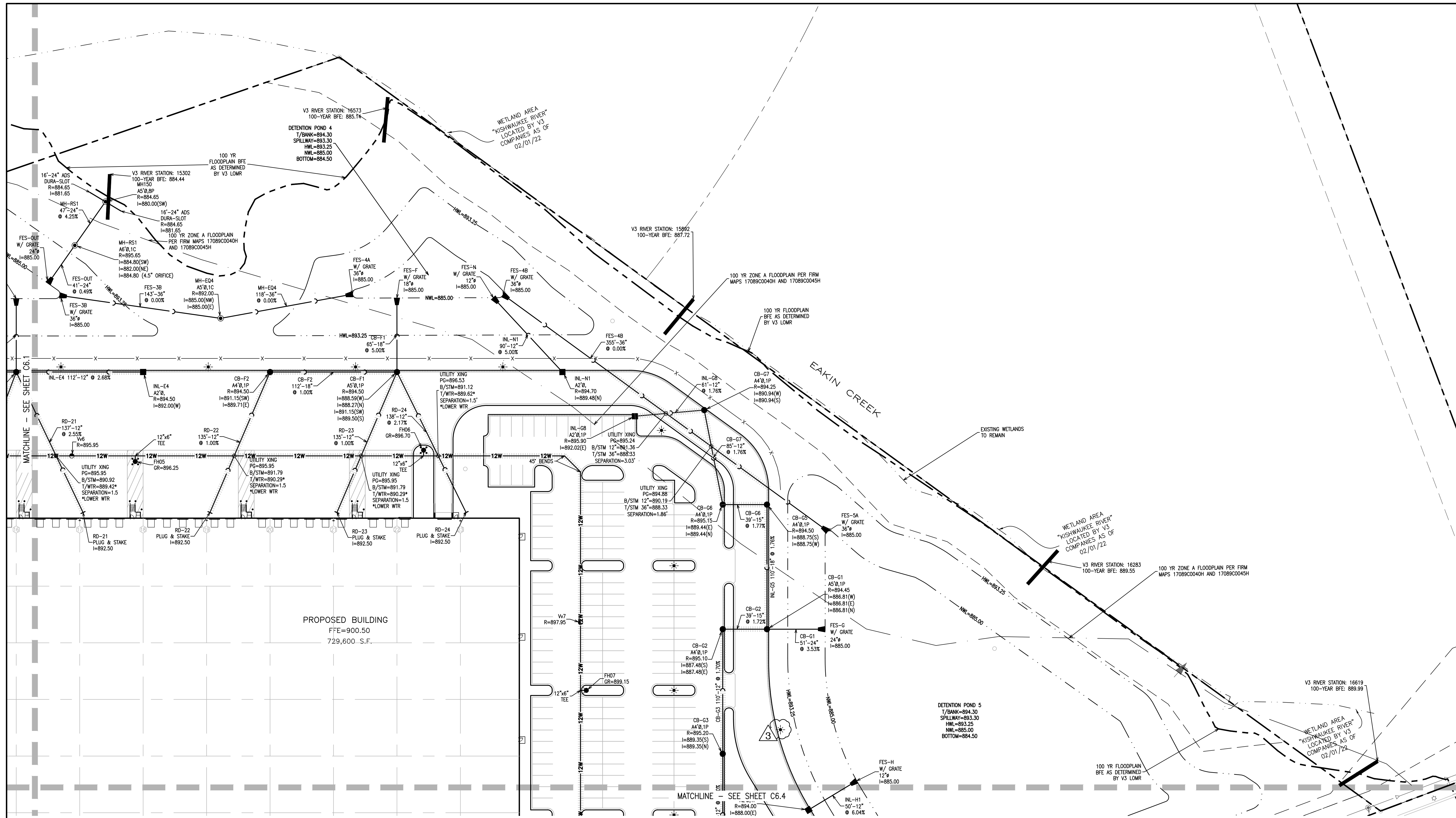
NOTE: REFER TO SHEET C6.0 FOR UTILITY NOTES.

KEY MAP



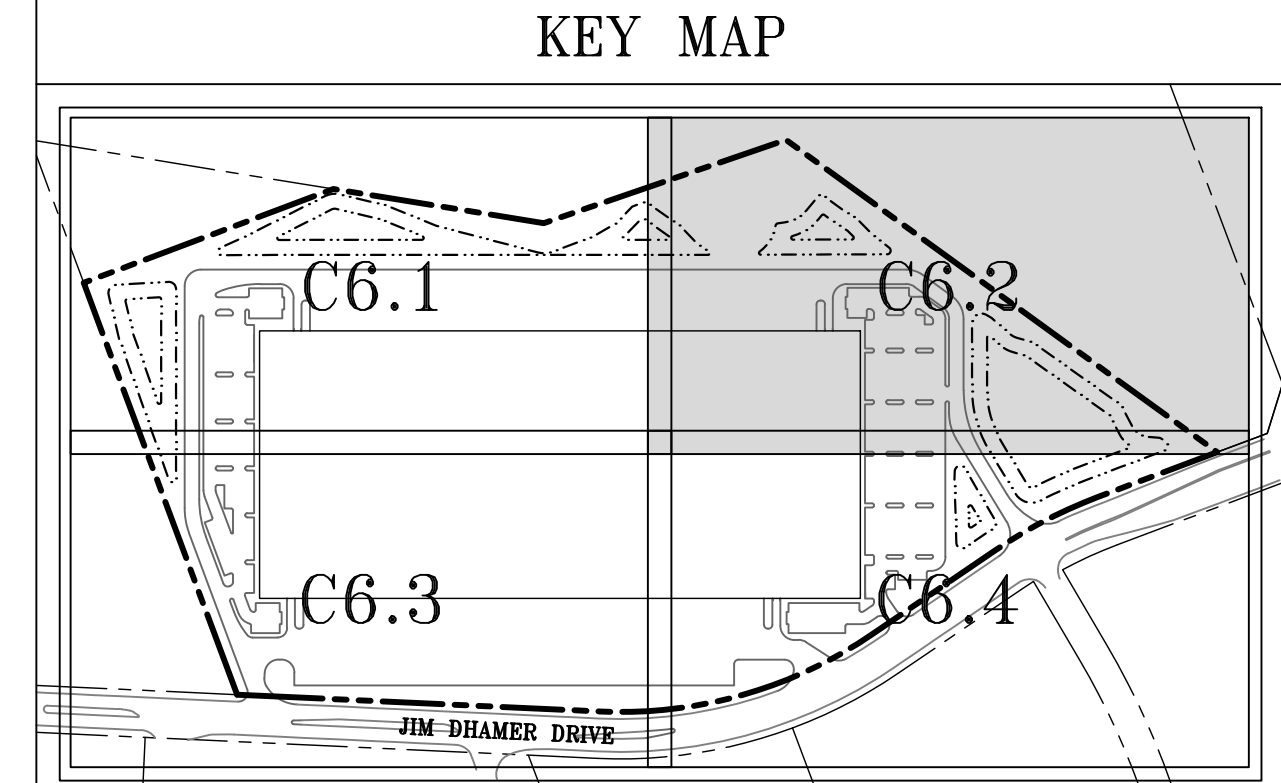
ROOF DRAIN LOCATIONS REVISED.

G355a
1" = 40'
C6.1



2 ROOF DRAIN LOCATIONS REVISED.

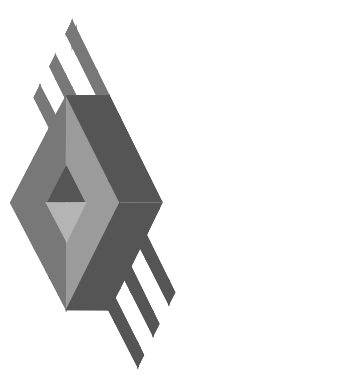
NOTE: REFER TO SHEET C6.0 FOR UTILITY NOTES.



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| No. | Description | Date |

UTILITY PLAN - NORTHEAST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

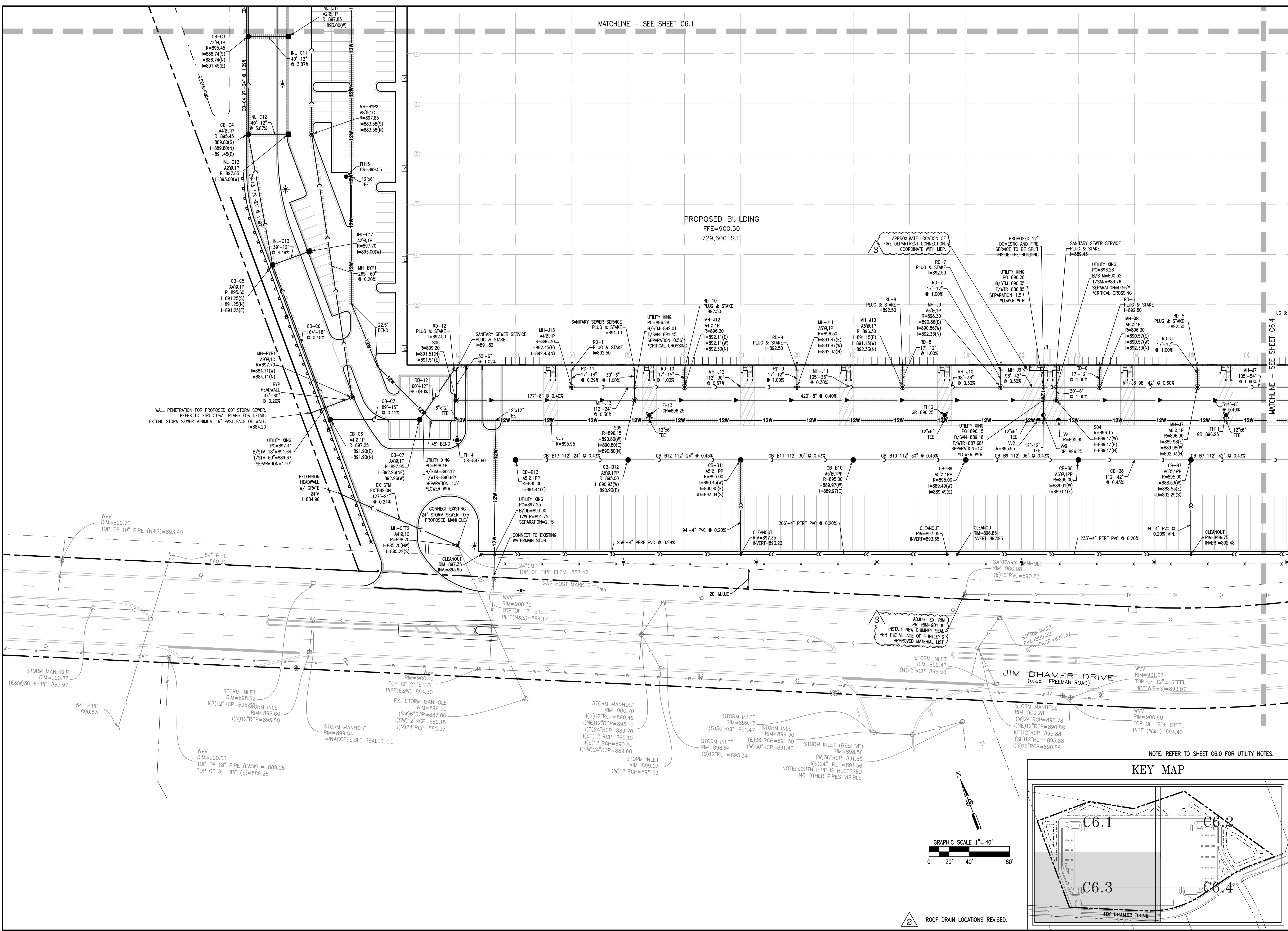
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G355a
 1" = 40'
 C6.2

MATCHLINE - SEE SHEET C6.1

PROPOSED BUILDING
FFE=900.50
729,600 S.F.



3 APPROXIMATE LOCATION OF FIRE DEPARTMENT CONNECTION COORDINATE WITH MEP

PROPOSED 12" DOMESTIC AND FIRE SERVICE TO BE SPLIT INSIDE THE BUILDING

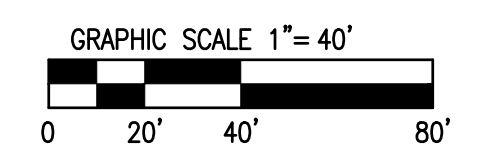
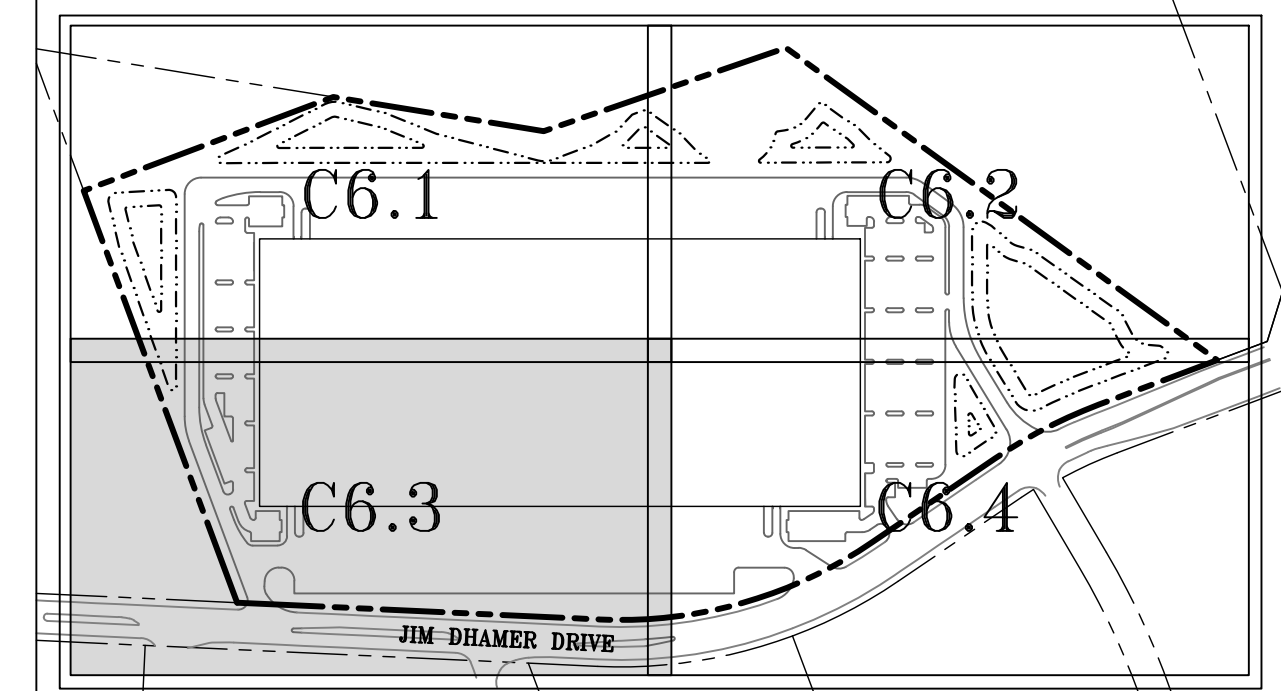
UTILITY XING PG=896.28 B/STM=890.35 T/WTR=888.85 SEPARATION=5'4" LOWER WTR

UTILITY XING PG=896.28 B/STM=890.32 T/SAN=889.76 SEPARATION=0.56' *CRITICAL CROSSING

3 ADJUST EX. RIM PR. RIM=899.52 PER THE VILLAGE OF HUNTLEY'S APPROVED MATERIAL LIST

NOTE: REFER TO SHEET C6.0 FOR UTILITY NOTES.

KEY MAP



2 ROOF DRAIN LOCATIONS REVISED.

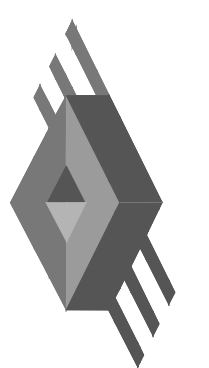
UTILITY PLAN - SOUTHWEST

VENTUREPARK 47

VENTURE ONE REAL ESTATE, LLC.

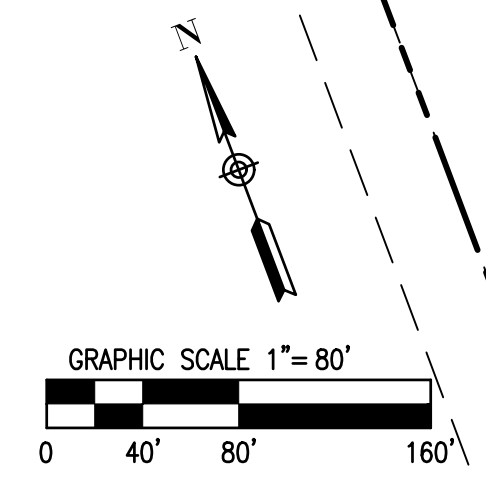
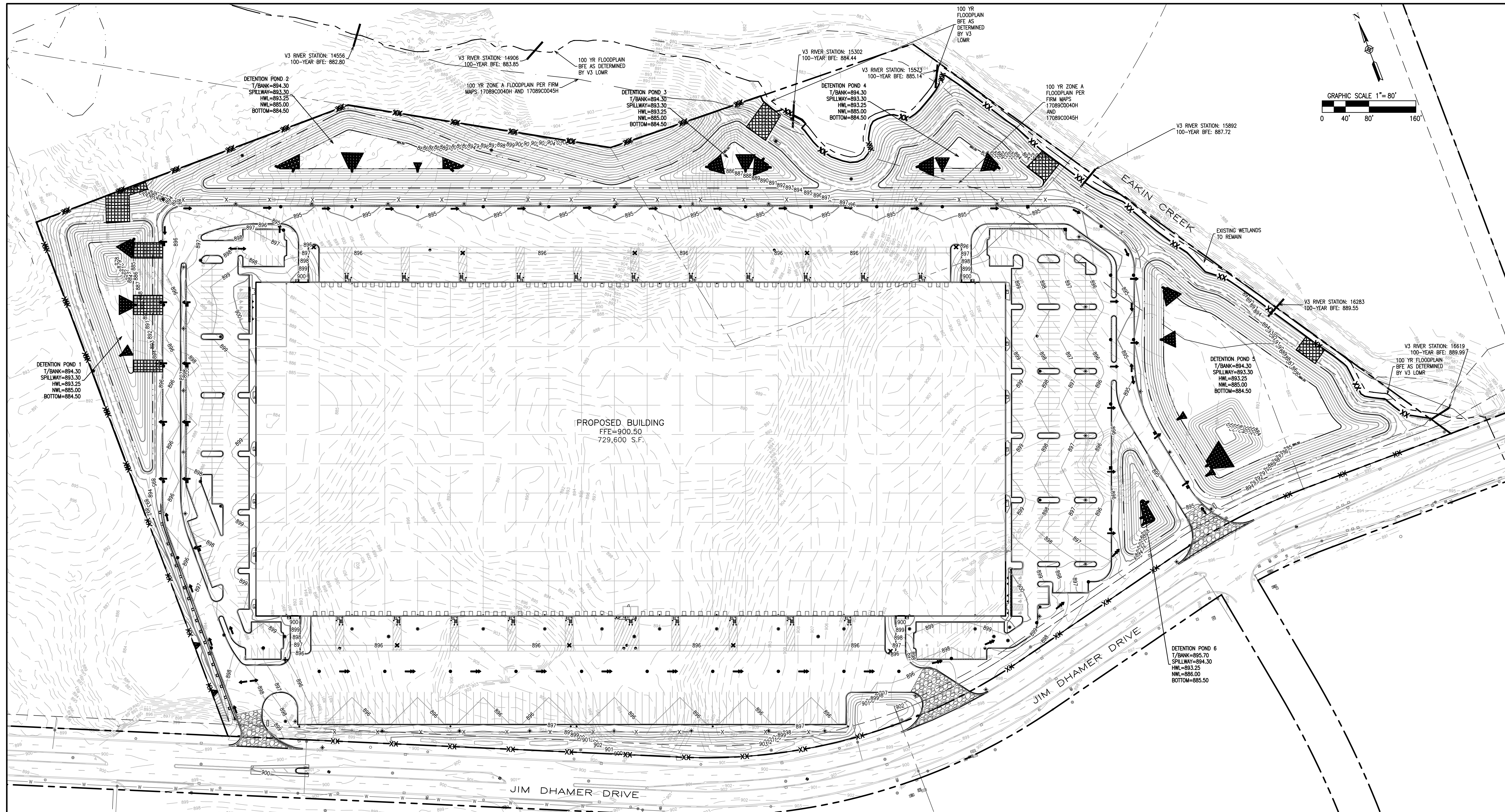
HUNTLEY, ILLINOIS

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G355a
1" = 40'
C6.3

| | | |
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| No. | Description | Date |
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |



EROSION CONTROL NOTES

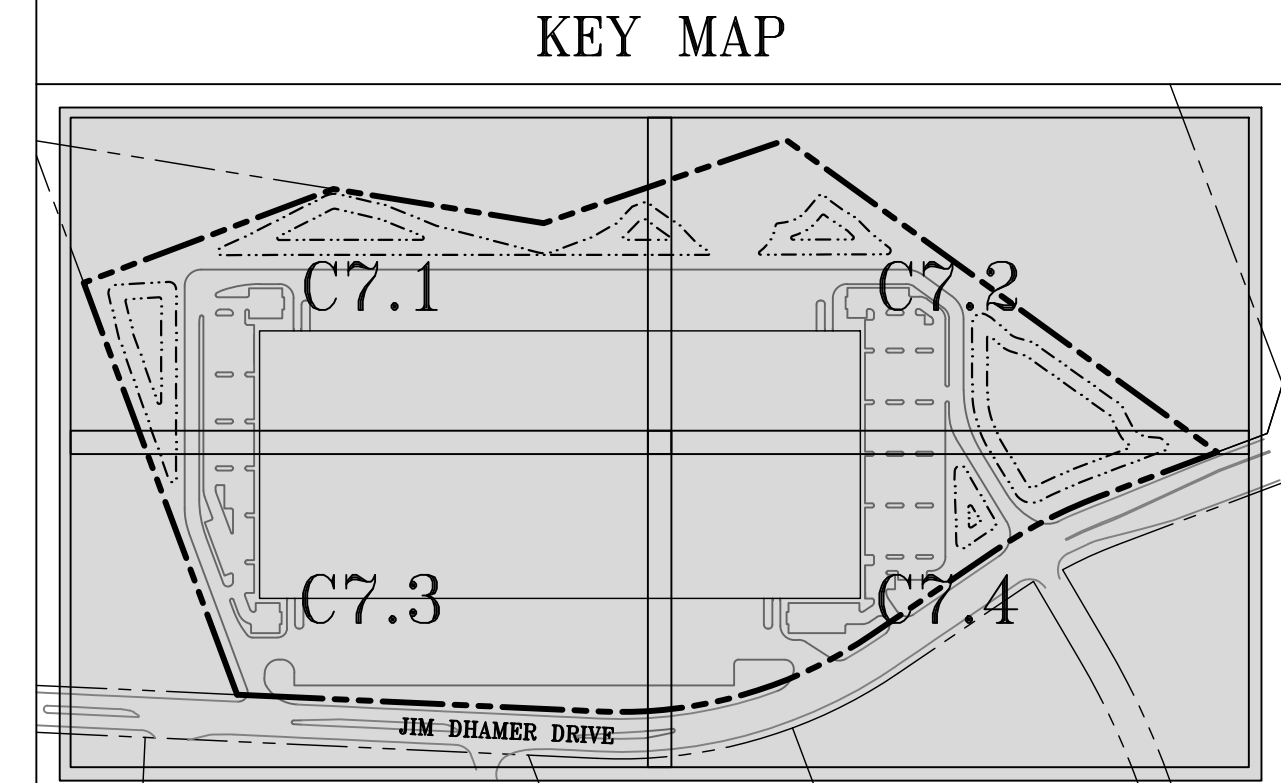
- 1) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 2) EARTHWORK CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 3) EARTHWORK CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
- 4) EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLEAN PUBLIC ROADWAYS, FREE OF DIRT AND DEBRIS AT ALL TIMES.
- 5) OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
- 6) AREAS REACHING SUBSTANTIAL COMPLETION OF GRADING AND TOPSOIL PLACEMENT OPERATIONS SHALL BE PERMANENTLY SEEDDED OR OTHERWISE LANDSCAPED WITHIN 14 DAYS FROM THE SUSPENSION OR COMPLETION OF GRADING AND TOPSOIL OPERATIONS.
- 7) SECONDARY CONTAINMENT SHALL BE REQUIRED FOR ANY BULK FUEL STORAGE THAT REMAINS ON-SITE FOR A PERIOD LONGER THAN 7 CALENDAR DAYS.
- 8) CONTAINMENT MEASURES SHALL BE REQUIRED FOR GENERATORS, PUMPS, MIXERS AND OTHER NON-ELECTRICAL POWERED EQUIPMENT THAT ARE TO BE STATIONED FOR LONGER THAN 24 HOURS.
- 9) EROSION CONTROL BLANKET SHALL BE PROVIDED IN ALL GREEN AREAS WITH SIDE SLOPES OF 4:1 OR STEEPER.
- 10) ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 12" OF TOPSOIL AND PERMANENT SEEDING.
- 11) CONTRACTOR SHALL CERTIFY THAT ALL REQUIRED TRAINING RELATED TO APPLICABLE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMITS HAVE BEEN COMPLETED BY ALL EMPLOYEES, SUBCONTRACTORS, OR OTHER VENDORS WORKING ON BEHALF OF THE CONTRACTOR ON VILLAGE PROJECTS OR WITHIN THE VILLAGE'S MUNICIPAL LIMITS.
- 12) THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.

EROSION CONTROL LEGEND

- (SF) SILT FENCE
- (SS) STREET SWEEPING
- (PV) PAVEMENT
- (IP) INLET PROTECTION
- (SE) STABILIZED CONSTRUCTION ENTRANCE
- (CW) CONCRETE WASHOUT
- (LA) LINED APRON
IN LOCATIONS WHERE LINED APRONS OVERLAP, THE LARGER RIP RAP SPECIFICATION SHALL PREVAIL.
- (PS) PERMANENT SEEDING
- (DC) DITCH CHECK
- (ECB) EROSION CONTROL BLANKET
NAG SC150BN (OR APPROVED EQUAL)
- (TRM) TURF REINFORCEMENT MAT
- (NAG) NAG SC250 (OR APPROVED EQUAL)
- (W) OVERFLOW WEIR
- (TRP) TEMPORARY RISER PIPE

NOTE: REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.

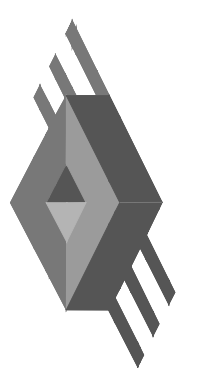
2 ROADWAY IMPROVEMENTS REMOVED



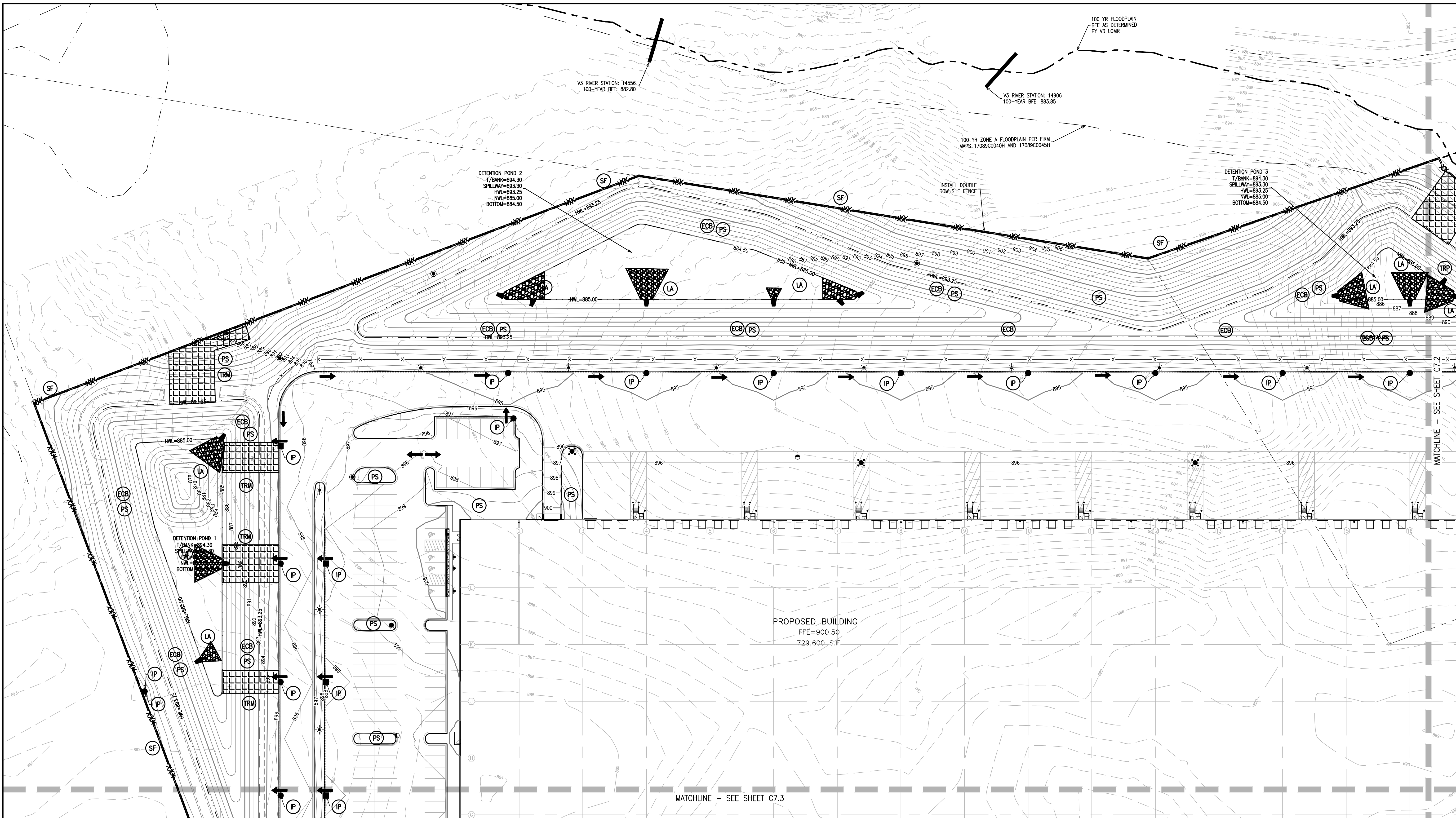
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| 1 | ISSUED FOR PERMIT | 04/04/22 |
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OVERALL EROSION CONTROL PLAN
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

JACOB & HEFNER ASSOCIATES
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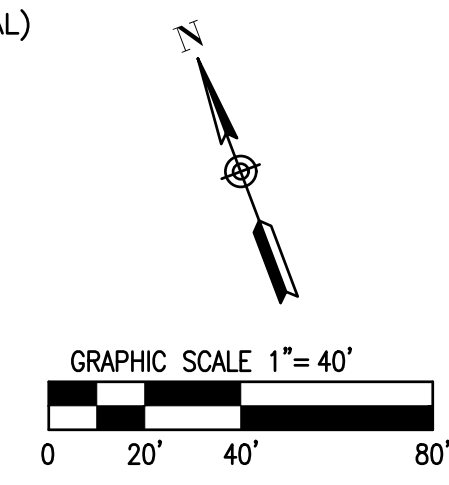


G355a
1" = 80'
C7.0

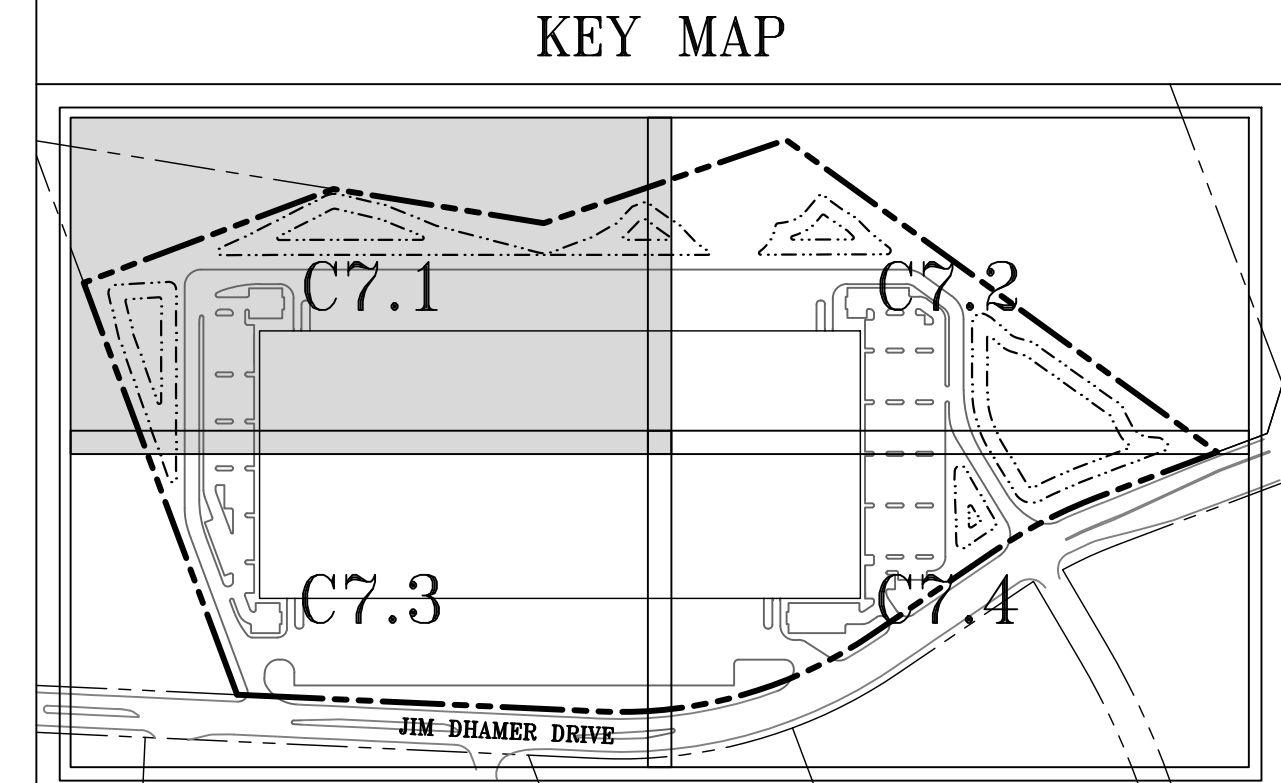


- EROSION CONTROL LEGEND**
- (SF) SILT FENCE
 - (SS) STREET SWEEPING
 - (PV) PAVEMENT
 - (IP) INLET PROTECTION
 - (SE) STABILIZED CONSTRUCTION ENTRANCE
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IN LOCATIONS WHERE LINED APRONS OVERLAP, THE LARGER RIP RAP SPECIFICATION SHALL PREVAIL
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NOTE: REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.

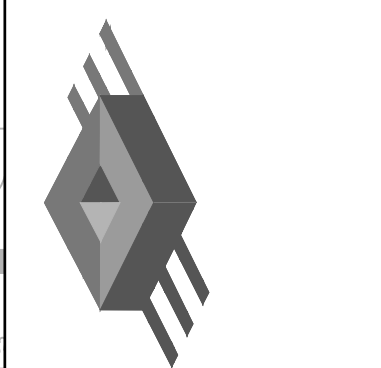


NOTE: REFER TO SHEET C7.0 FOR EROSION CONTROL NOTES.



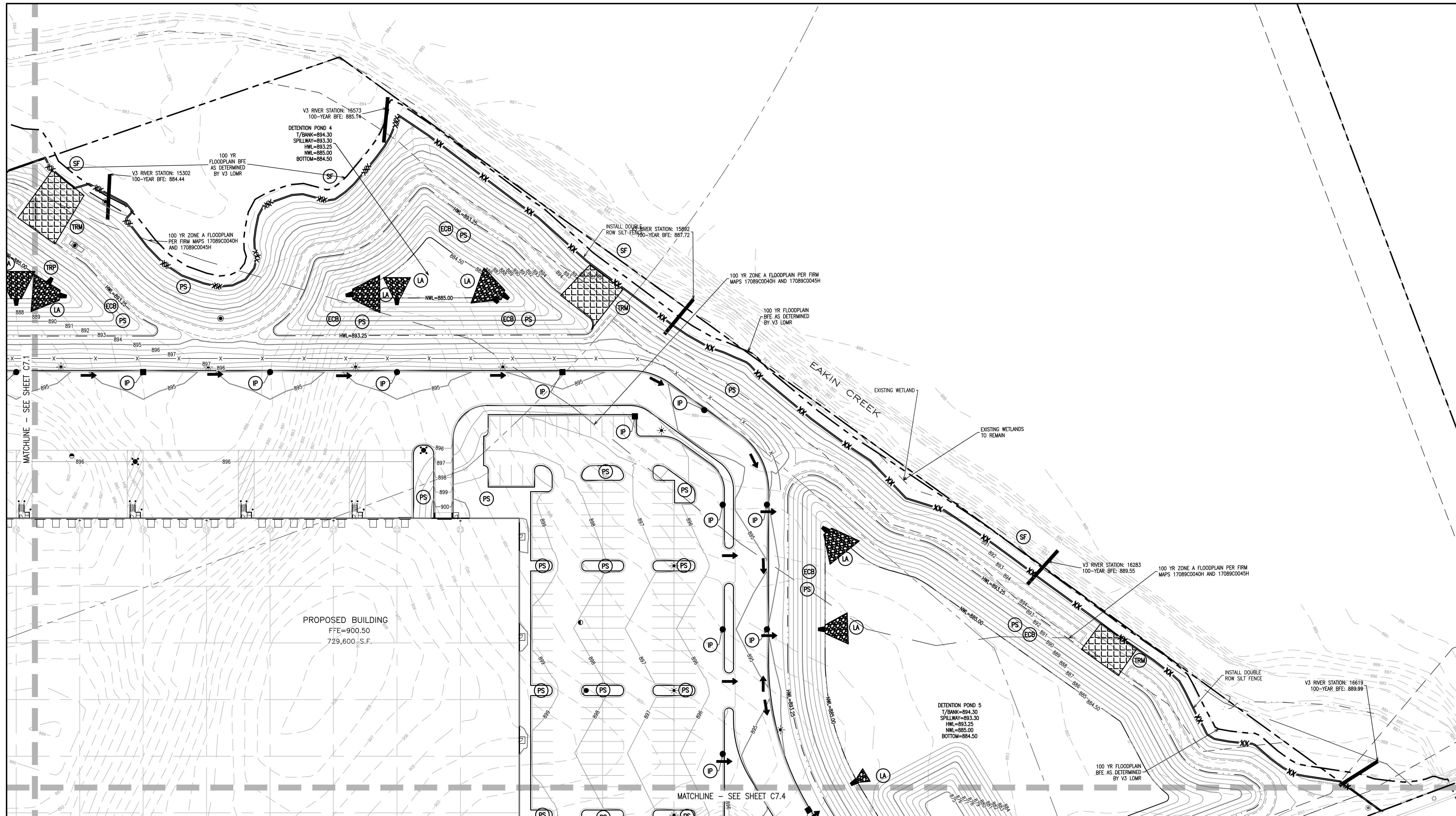
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|-------------------------------------------------|----------|
| EROSION CONTROL PLAN - NORTHWEST VENTUREPARK 47 | |
| VENTURE ONE REAL ESTATE, LLC. | |
| HUNTLEY, ILLINOIS | |
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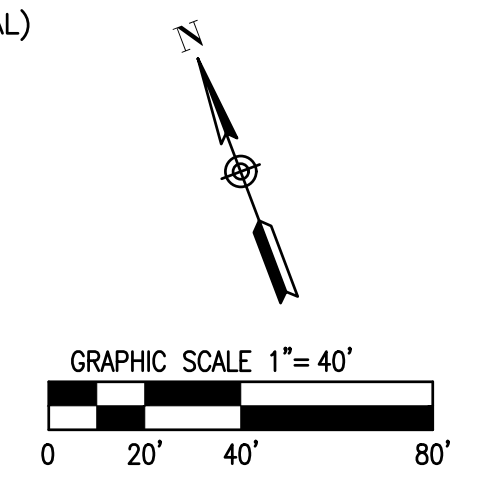


G355a
 1" = 40'
 C7.1

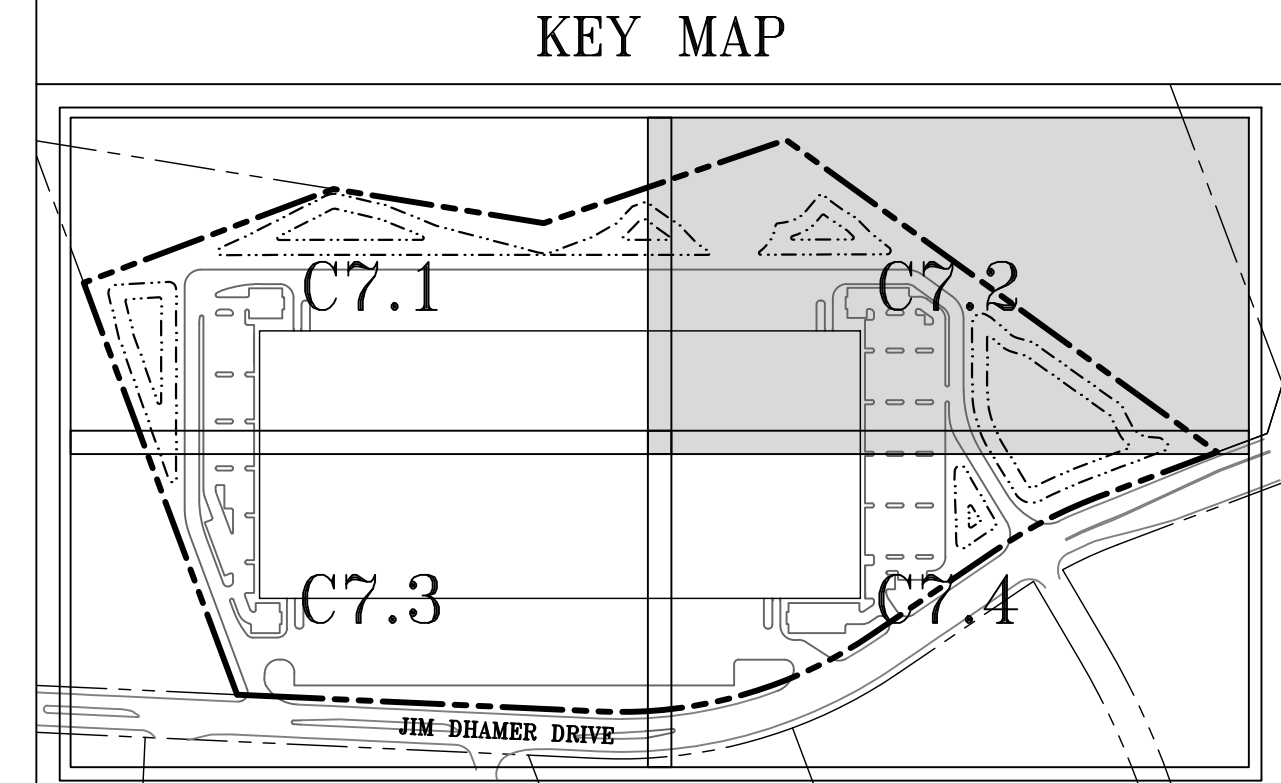
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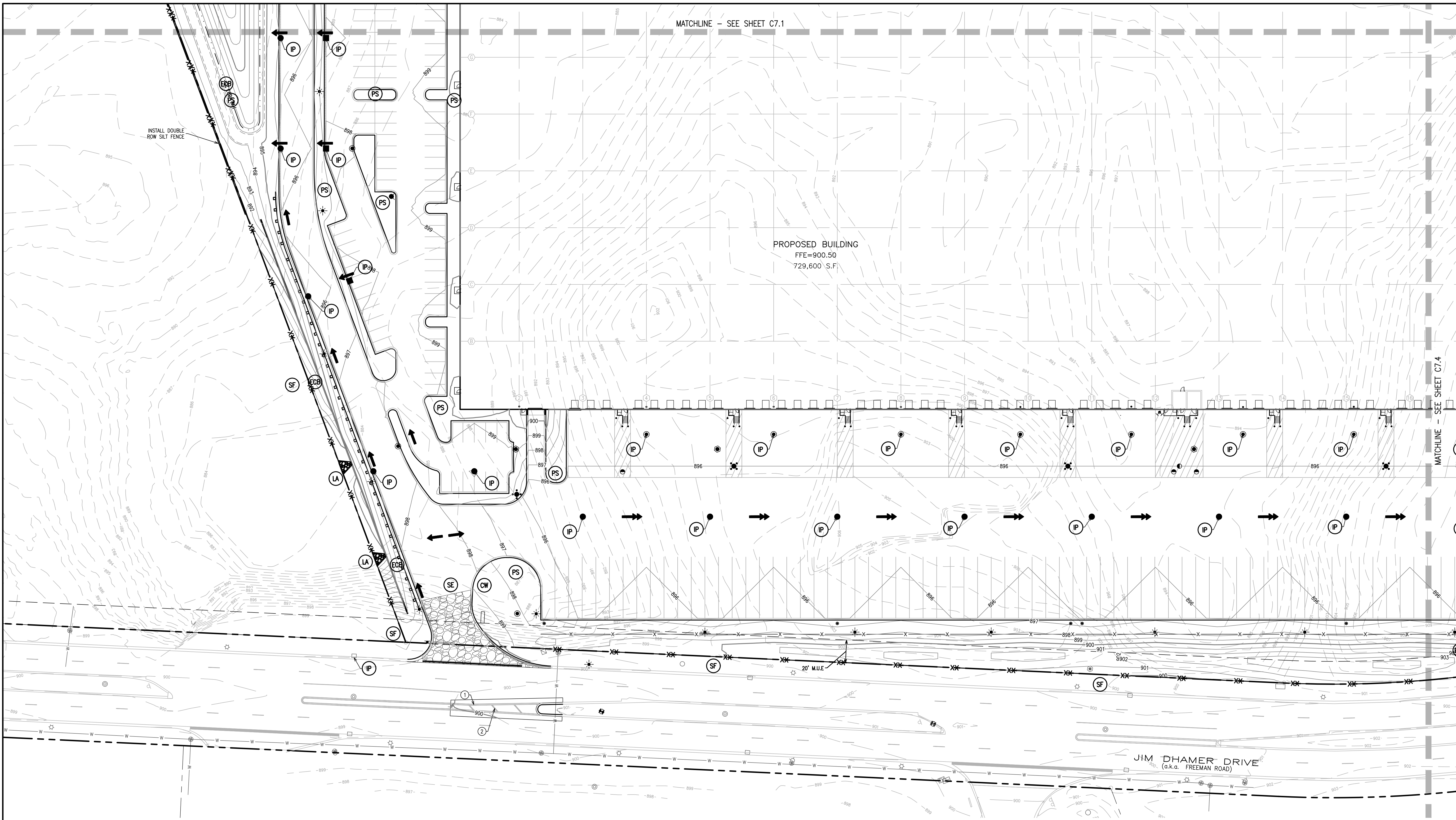
- EROSION CONTROL LEGEND**
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 - (SS) STREET SWEEPING
 - (PV) PAVEMENT
 - (IP) INLET PROTECTION
 - (SE) STABILIZED CONSTRUCTION ENTRANCE
 - (CW) CONCRETE WASHOUT
 - (LA) LINED APRON
IN LOCATIONS WHERE LINED APRONS OVERLAP, THE LARGER RIP RAP SPECIFICATION SHALL PREVAIL
 - (PS) PERMANENT SEEDING
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 - (TRP) TEMPORARY RISER PIPE
- NOTE: REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.



NOTE: REFER TO SHEET C7.0 FOR EROSION CONTROL NOTES.



| | |
|---------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------|
| EROSION CONTROL PLAN - NORTHEAST | |
| VENTUREPARK 47 | |
| VENTURE ONE REAL ESTATE, LLC. | |
| HUNTLEY, ILLINOIS | |
| JACOB & HEFNER ASSOCIATES | 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com |
| G355a | 1" = 40' |
| C7.2 | C7.2 |
| 3 REVISED PER VILLAGE 05/09/22 | Date |
| 2 PER ARCHITECT AND CITY 04/22/22 | Description |
| 1 ISSUED FOR PERMIT 04/04/22 | No. |



MATCHLINE - SEE SHEET C7.1

PROPOSED BUILDING
FFE=900.50
729,600 S.F.

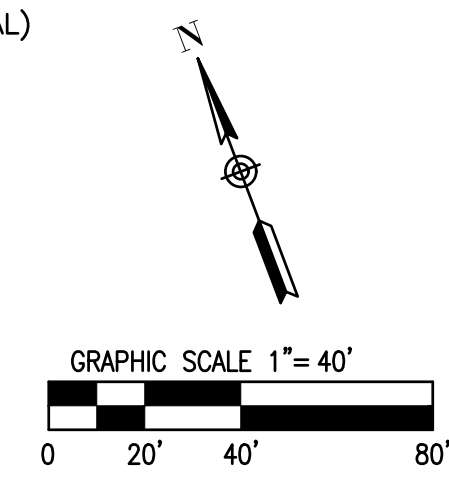
MATCHLINE - SEE SHEET C7.4

JIM DHAMER DRIVE
(a.k.a. FREEMAN ROAD)

EROSION CONTROL LEGEND

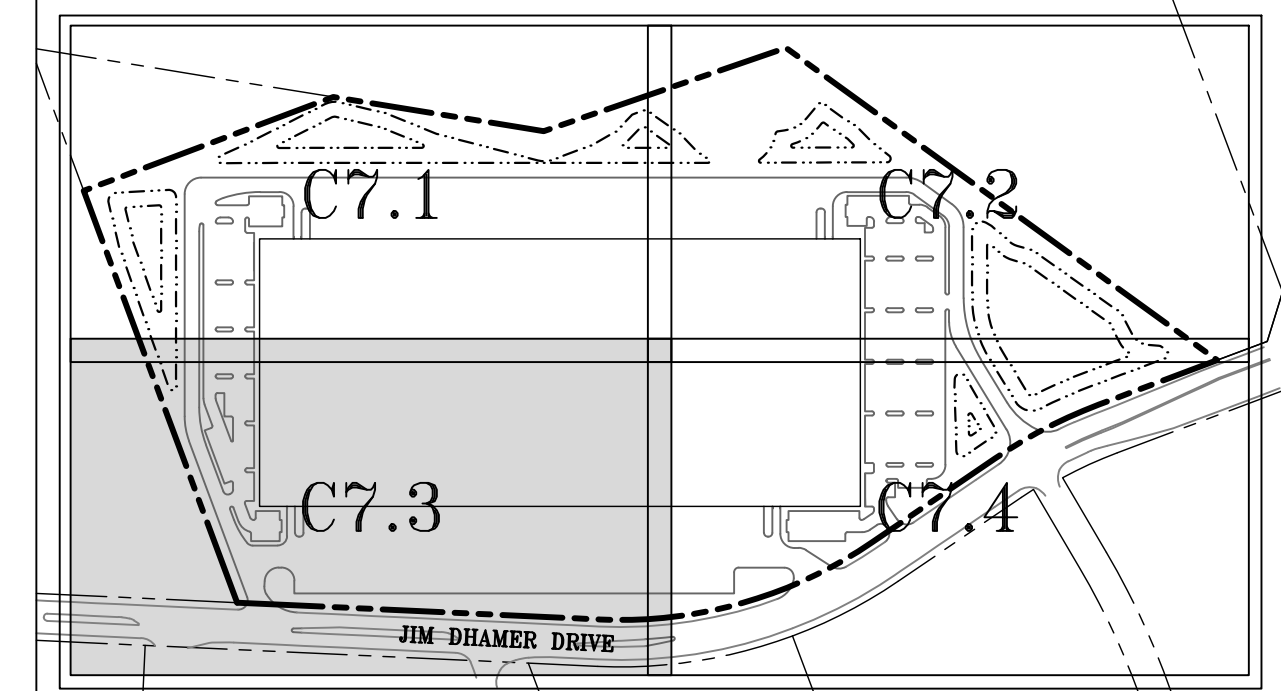
- | | |
|----------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|
| (SF) SILT FENCE | (DC) DITCH CHECK |
| (SS) STREET SWEEPING | (ECB) EROSION CONTROL BLANKET NAG SC150BN (OR APPROVED EQUAL) |
| (PV) PAVEMENT | (TRM) TURF REINFORCEMENT MAT |
| (IP) INLET PROTECTION | [Grid Symbol] NAG SC250 (OR APPROVED EQUAL) |
| (SE) STABILIZED CONSTRUCTION ENTRANCE | (W) OVERFLOW WEIR |
| (CW) CONCRETE WASHOUT | (TRP) TEMPORARY RISER PIPE |
| (LA) LINED APRON IN LOCATIONS WHERE LINED APRONS OVERLAP, THE LARGER RIP RAP SPECIFICATION SHALL PREVAIL | |
| (PS) PERMANENT SEEDING | |

NOTE: REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.



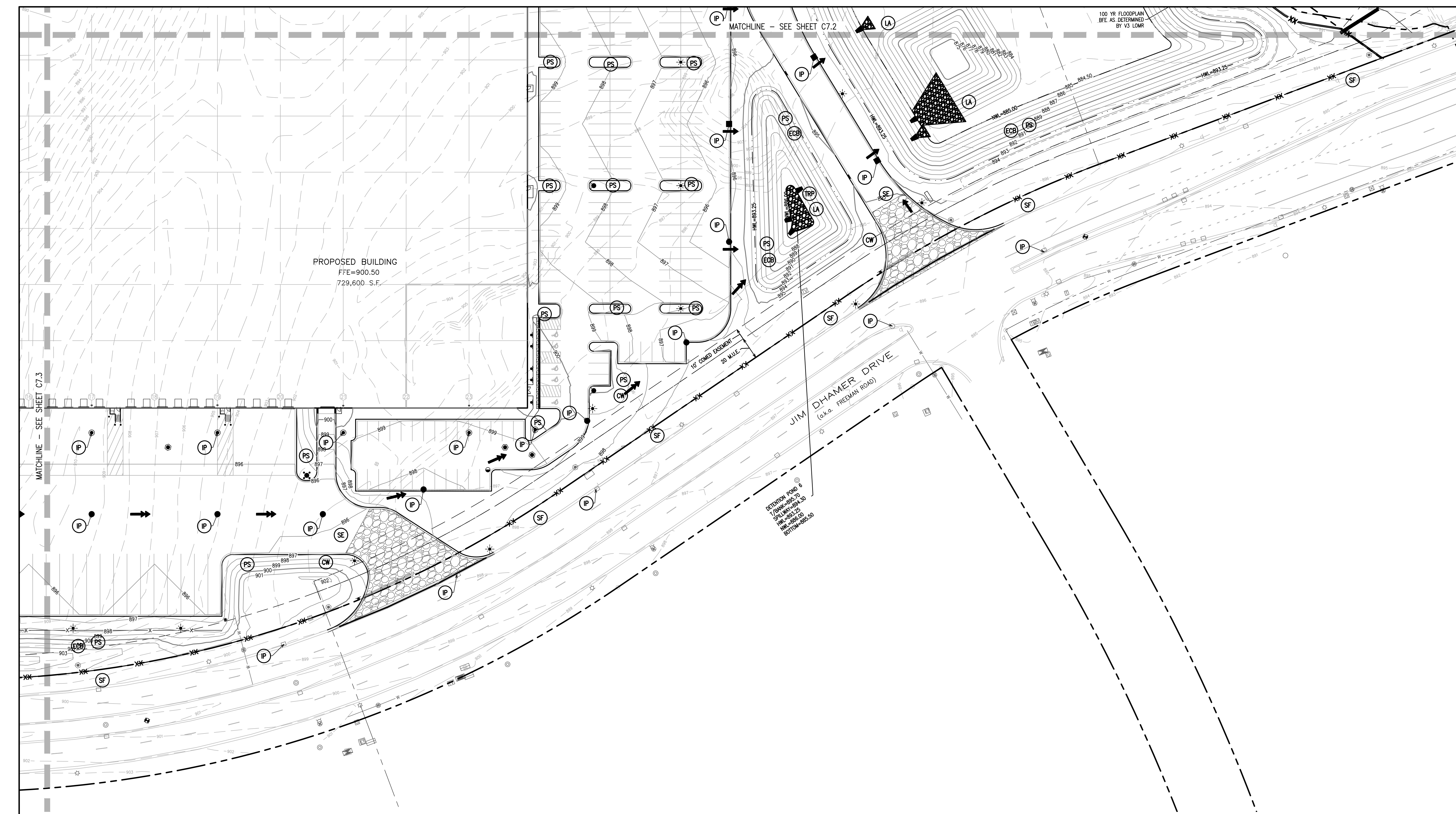
NOTE: REFER TO SHEET C7.0 FOR EROSION CONTROL NOTES.

KEY MAP



| | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------|--|
| <p>JACOB & HEFNER ASSOCIATES 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com</p> | | <p>EROSION CONTROL PLAN - SOUTHWEST VENTUREPARK 47</p> | |
| | | <p>VENTURE ONE REAL ESTATE, LLC. HUNTLEY, ILLINOIS</p> | |
| <p>G355a</p> | | <p>05/09/22</p> | |
| <p>1" = 40'</p> | | <p>04/22/22</p> | |
| <p>C7.3</p> | | <p>04/04/22</p> | |
| <p>Date</p> | | <p>Description</p> | |
| <p>No.</p> | | <p>No.</p> | |
| <p>3 REVISED PER VILLAGE</p> | | <p>05/09/22</p> | |
| <p>2 PER ARCHITECT AND CITY</p> | | <p>04/22/22</p> | |
| <p>1 ISSUED FOR PERMIT</p> | | <p>04/04/22</p> | |

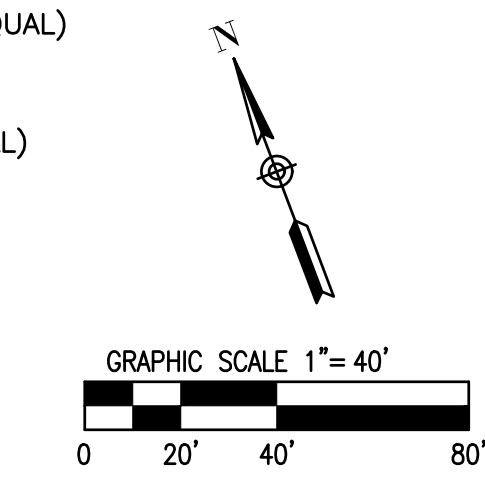
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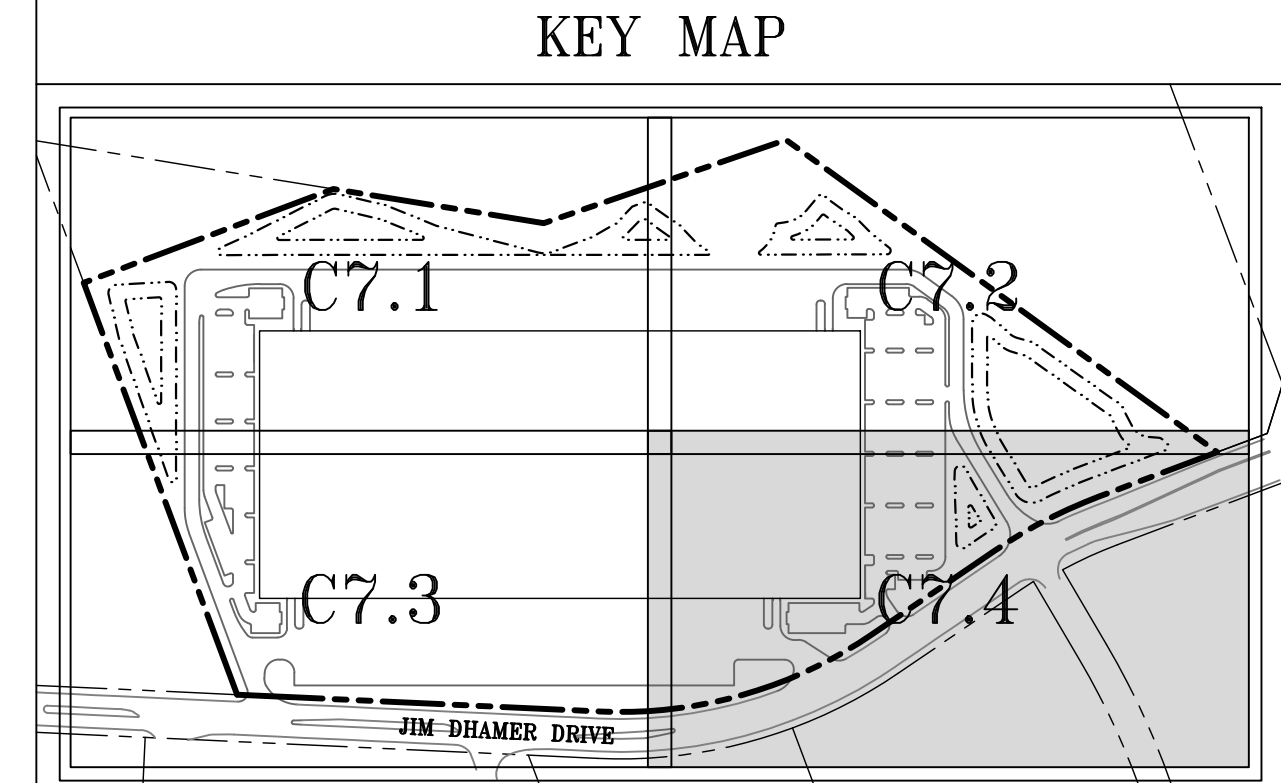
EROSION CONTROL LEGEND

- | | |
|----------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|
| (SF) SILT FENCE | (DC) DITCH CHECK |
| (SS) STREET SWEEPING | (ECB) EROSION CONTROL BLANKET NAG SC150BN (OR APPROVED EQUAL) |
| (PV) PAVEMENT | (TRM) TURF REINFORCEMENT MAT |
| (IP) INLET PROTECTION | (W) OVERFLOW WEIR |
| (SE) STABILIZED CONSTRUCTION ENTRANCE | (TRP) TEMPORARY RISER PIPE |
| (CW) CONCRETE WASHOUT | |
| (LA) LINED APRON IN LOCATIONS WHERE LINED APRONS OVERLAP, THE LARGER RIP RAP SPECIFICATION SHALL PREVAIL | |
| (PS) PERMANENT SEEDING | |

NOTE: REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.



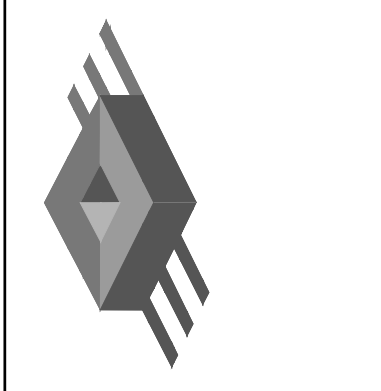
NOTE: REFER TO SHEET C7.0 FOR EROSION CONTROL NOTES.



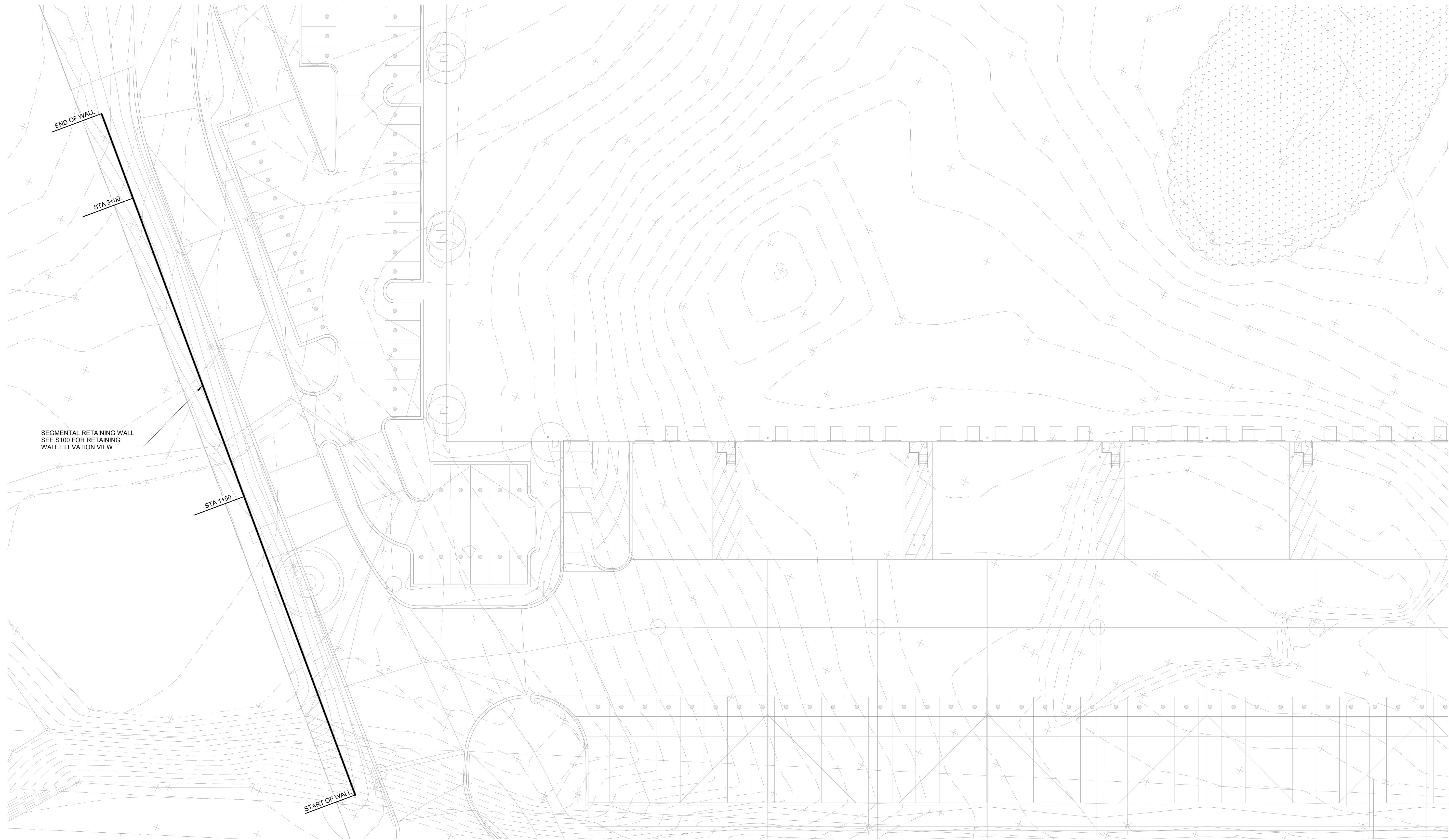
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|-----|------------------------|----------|
| 3 | REVISED PER VILLAGE | 05/09/22 |
| 2 | PER ARCHITECT AND CITY | 04/22/22 |
| 1 | ISSUED FOR PERMIT | 04/04/22 |

EROSION CONTROL PLAN - SOUTHEAST
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

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G355a
1" = 40'
C7.4

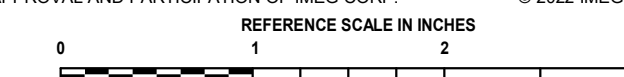


1 ENLARGED SITE PLAN
 1/2" = 1'-0"



Jeffrey A. Lapp
 EXP: 11/22
 DATE: 05/06/22

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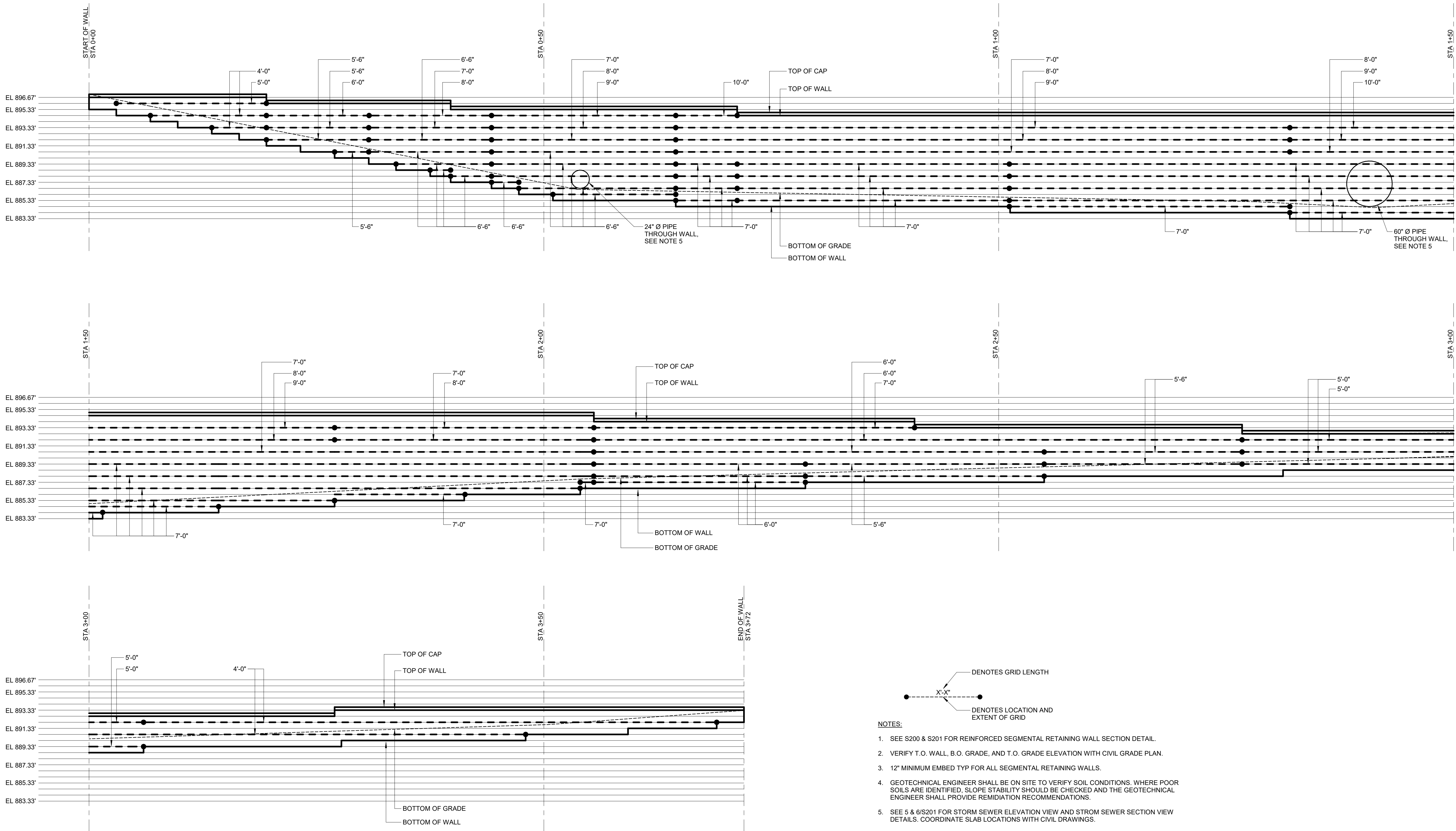
| No. | Description | Date |
|-----|------------------|------------|
| 1 | ISSUE FOR PERMIT | 05/06/2022 |

SITE PLAN
 VENTUREPARK 47
 VENTURE ONE REAL ESTATE, LLC.
 HUNTLEY, ILLINOIS

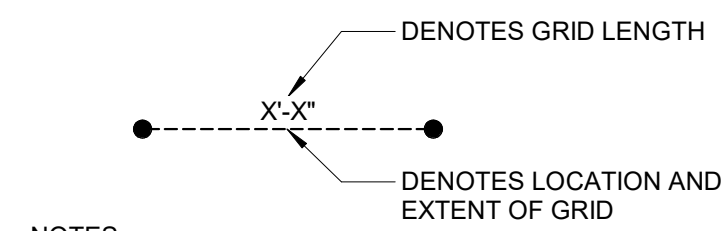
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G355a
S001



1 RETAINING WALL ELEVATION VIEW
3/16" = 1'-0"

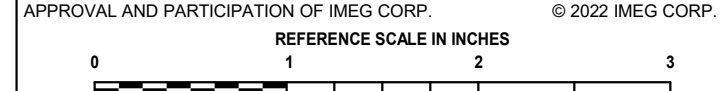


- NOTES:**
1. SEE S200 & S201 FOR REINFORCED SEGMENTAL RETAINING WALL SECTION DETAIL.
 2. VERIFY T.O. WALL, B.O. GRADE, AND T.O. GRADE ELEVATION WITH CIVIL GRADE PLAN.
 3. 12" MINIMUM EMBED TYP FOR ALL SEGMENTAL RETAINING WALLS.
 4. GEOTECHNICAL ENGINEER SHALL BE ON SITE TO VERIFY SOIL CONDITIONS. WHERE POOR SOILS ARE IDENTIFIED, SLOPE STABILITY SHOULD BE CHECKED AND THE GEOTECHNICAL ENGINEER SHALL PROVIDE REMEDIATION RECOMMENDATIONS.
 5. SEE 5 & 6/S201 FOR STORM SEWER ELEVATION VIEW AND STROM SEWER SECTION VIEW DETAILS. COORDINATE SLAB LOCATIONS WITH CIVIL DRAWINGS.



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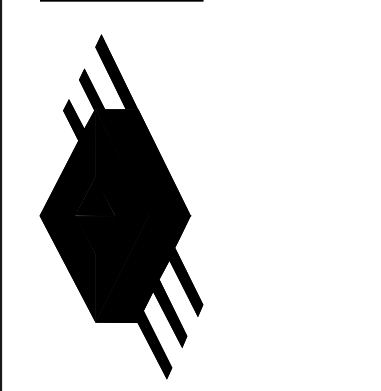
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DATE: 05/06/22



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|-----|------------------|------------|
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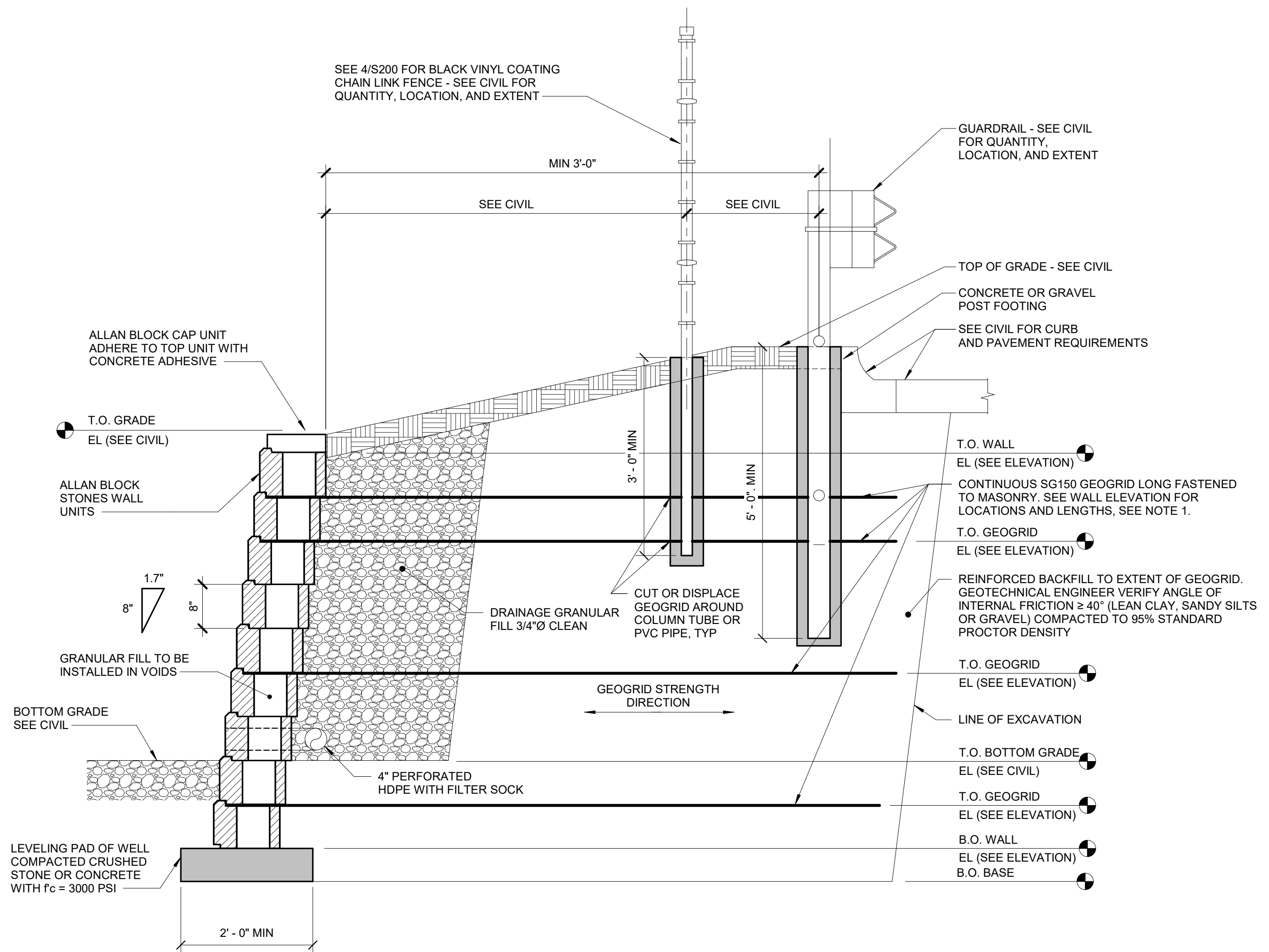
RETAINING WALL ELEVATION
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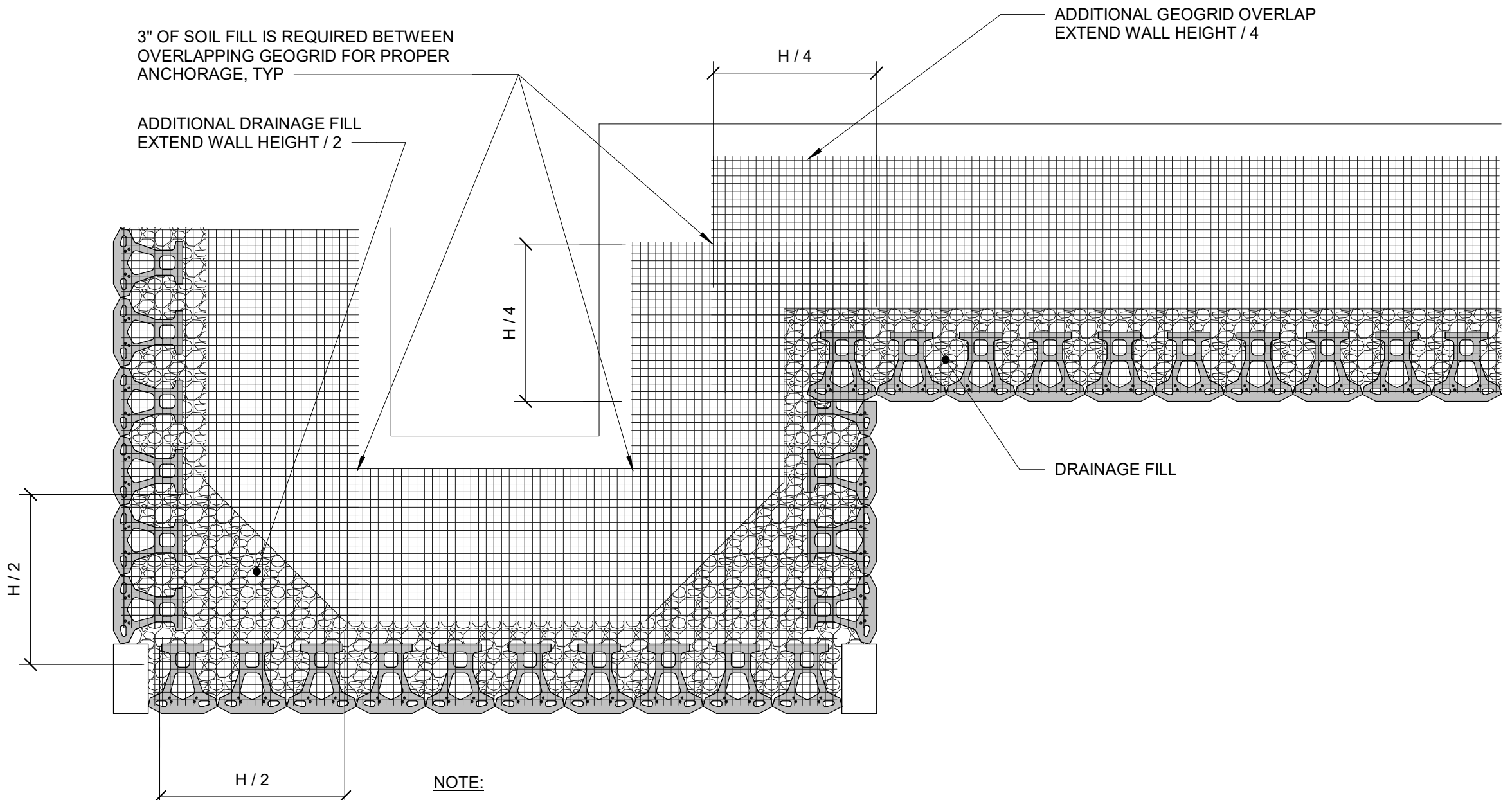
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G355a
S100



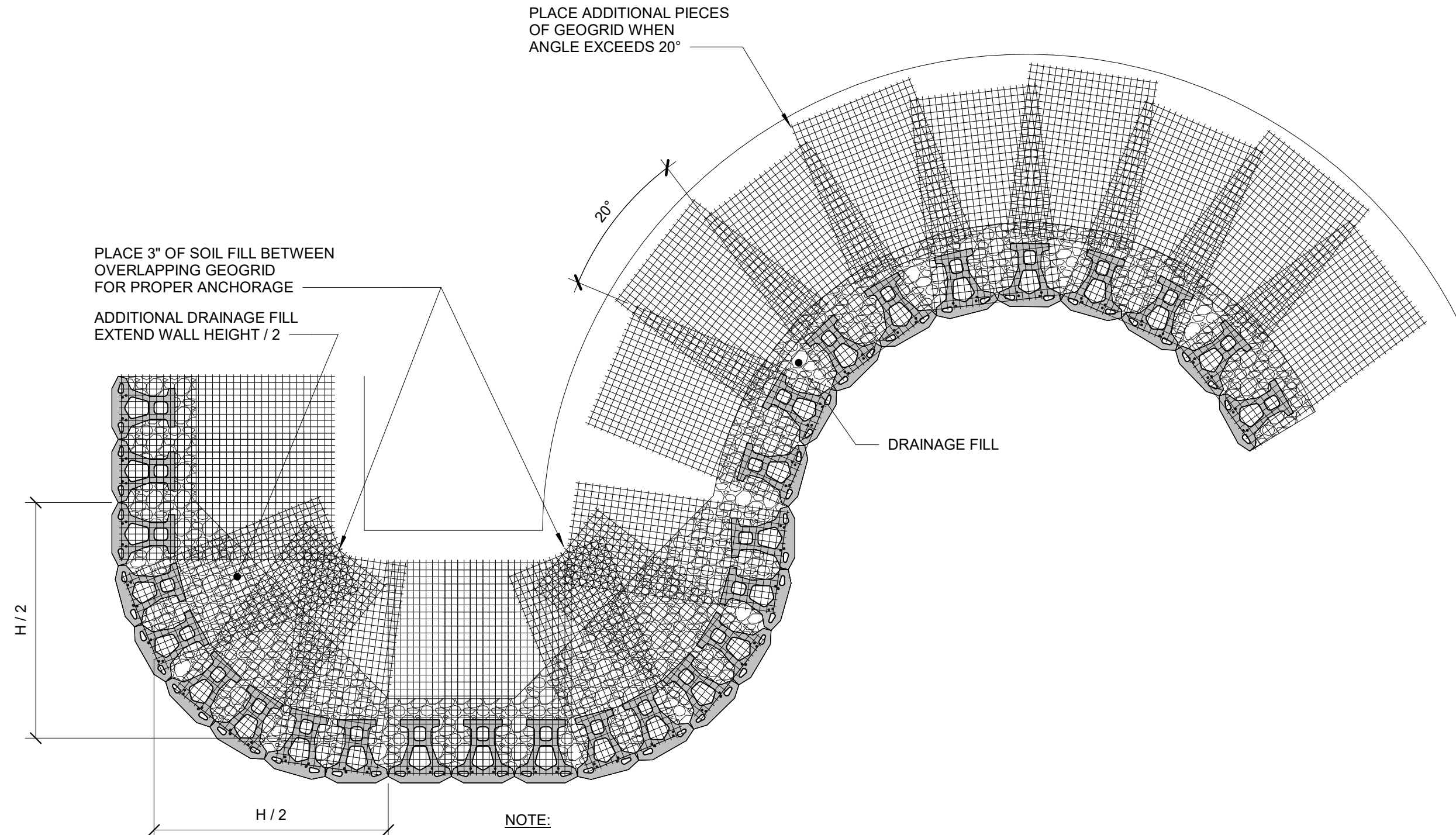
NOTE:
1. COMPACT GRADE AT EACH BLOCK INTERVAL TO 95% PROCTOR OR BY RECOMMENDATION OF GEOTECHNICAL ENGINEER.

1 TYPICAL SEGMENTAL RETAINING WALL SECTION
3/4" = 1'-0"



NOTE:
1. CHECK WITH MANUFACTURER SPECIFICATION ON CORRECT DIRECTION OF ORIENTATION FOR GEOGRID TO OBTAIN PROPER STRENGTH

2 GEOGRID INSTALLATION AT CORNERS
3/4" = 1'-0"



NOTE:
1. CHECK WITH MANUFACTURER SPECIFICATION ON CORRECT DIRECTION OF ORIENTATION FOR GEOGRID TO OBTAIN PROPER STRENGTH.

3 GEOGRID INSTALLATION ON CURVES
3/4" = 1'-0"



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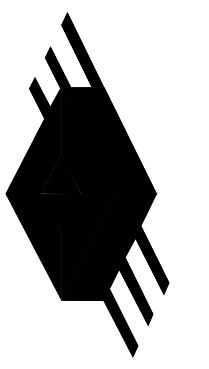
EXP: 11/22
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REFERENCE SCALE IN INCHES
0 1 2 3

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|-----|------------------|------------|
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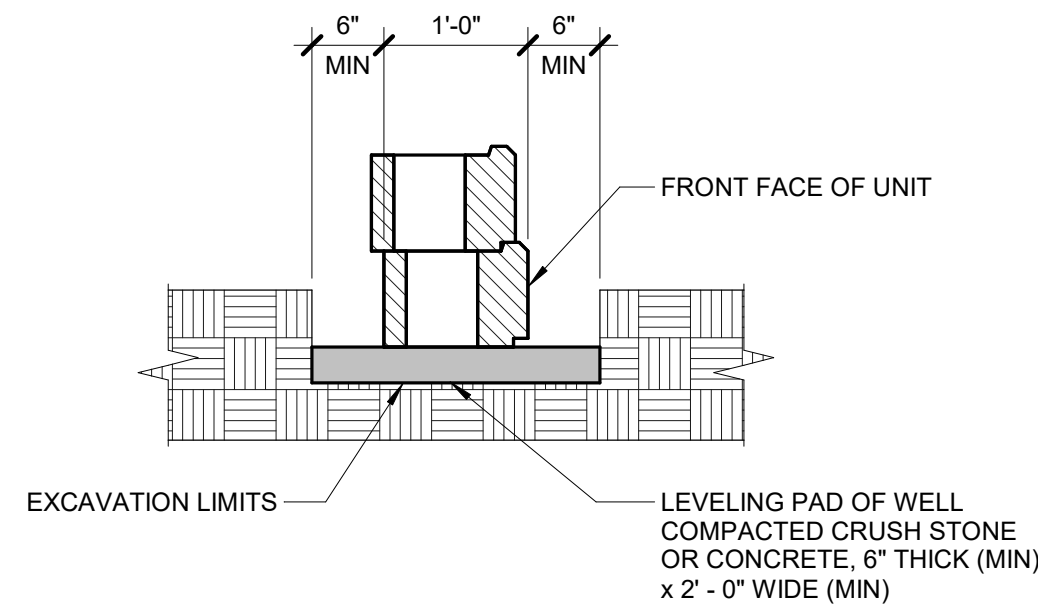
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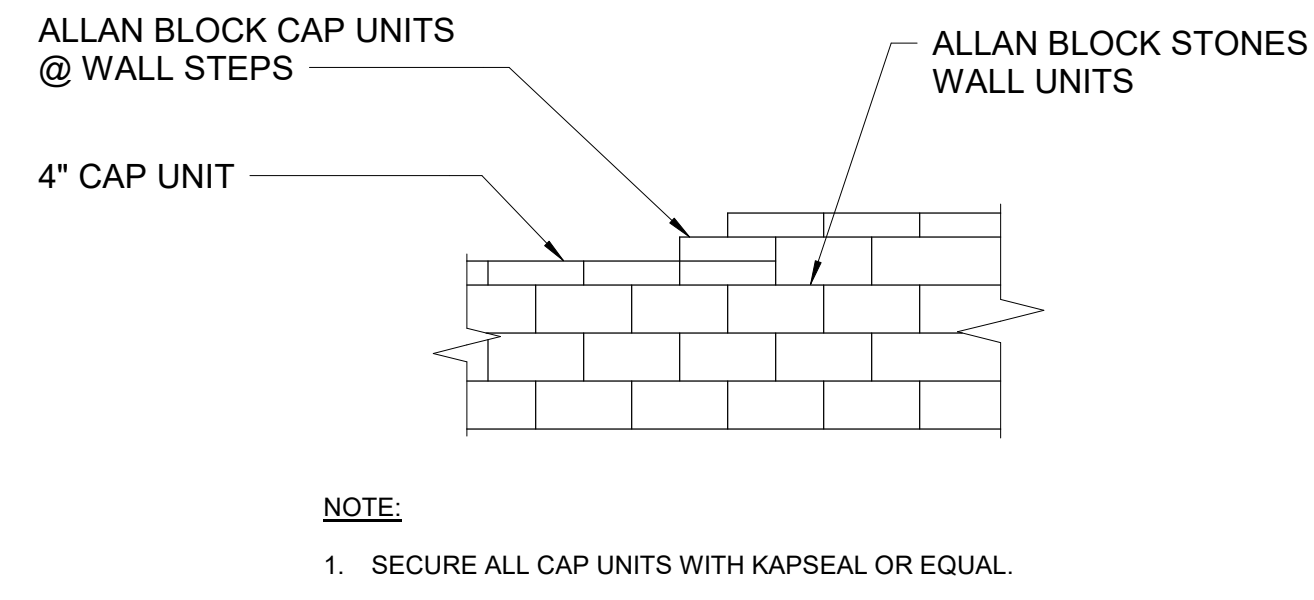


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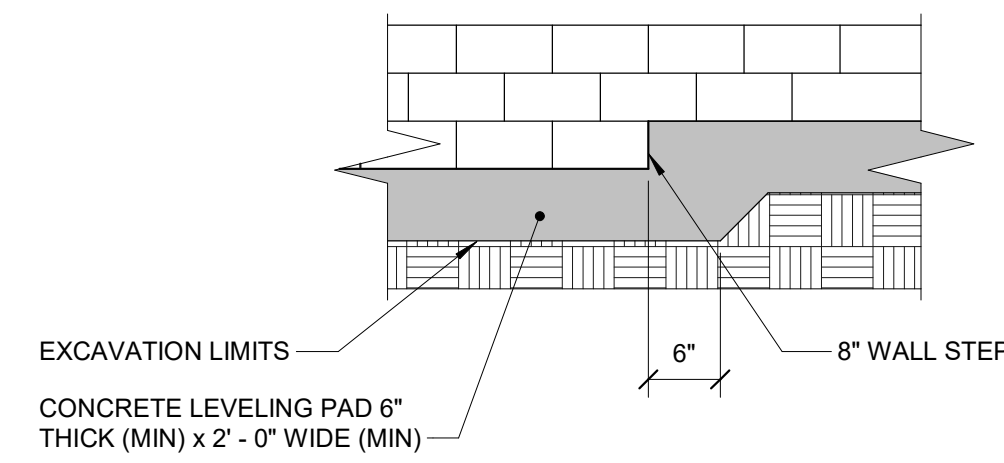
G355a
S200



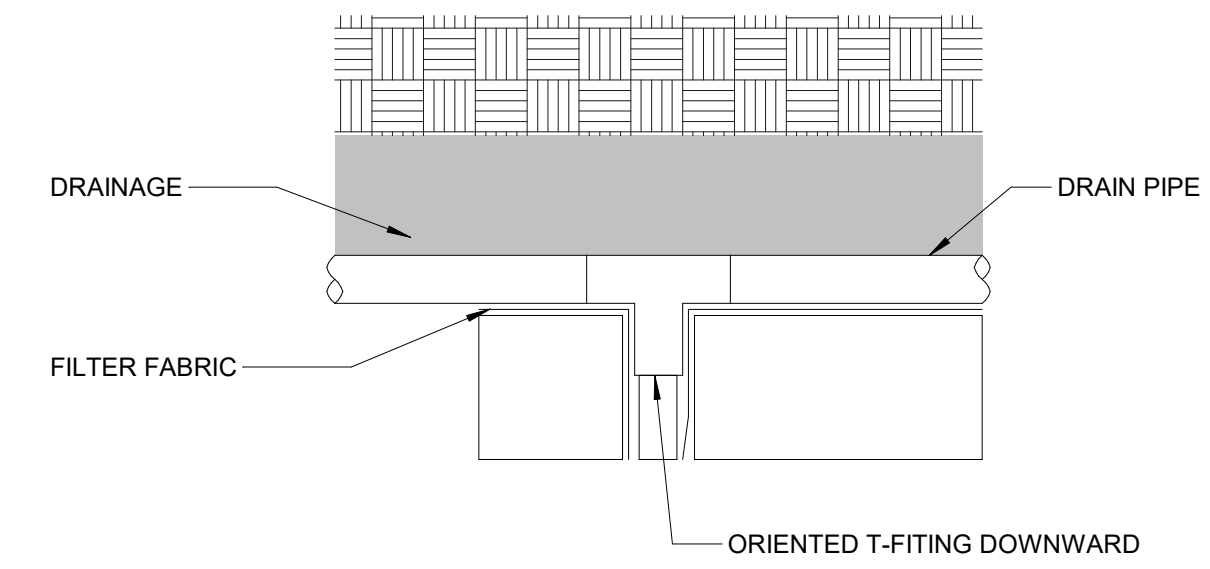
1 LEVELING PAD DETAIL
3/4" = 1'-0"



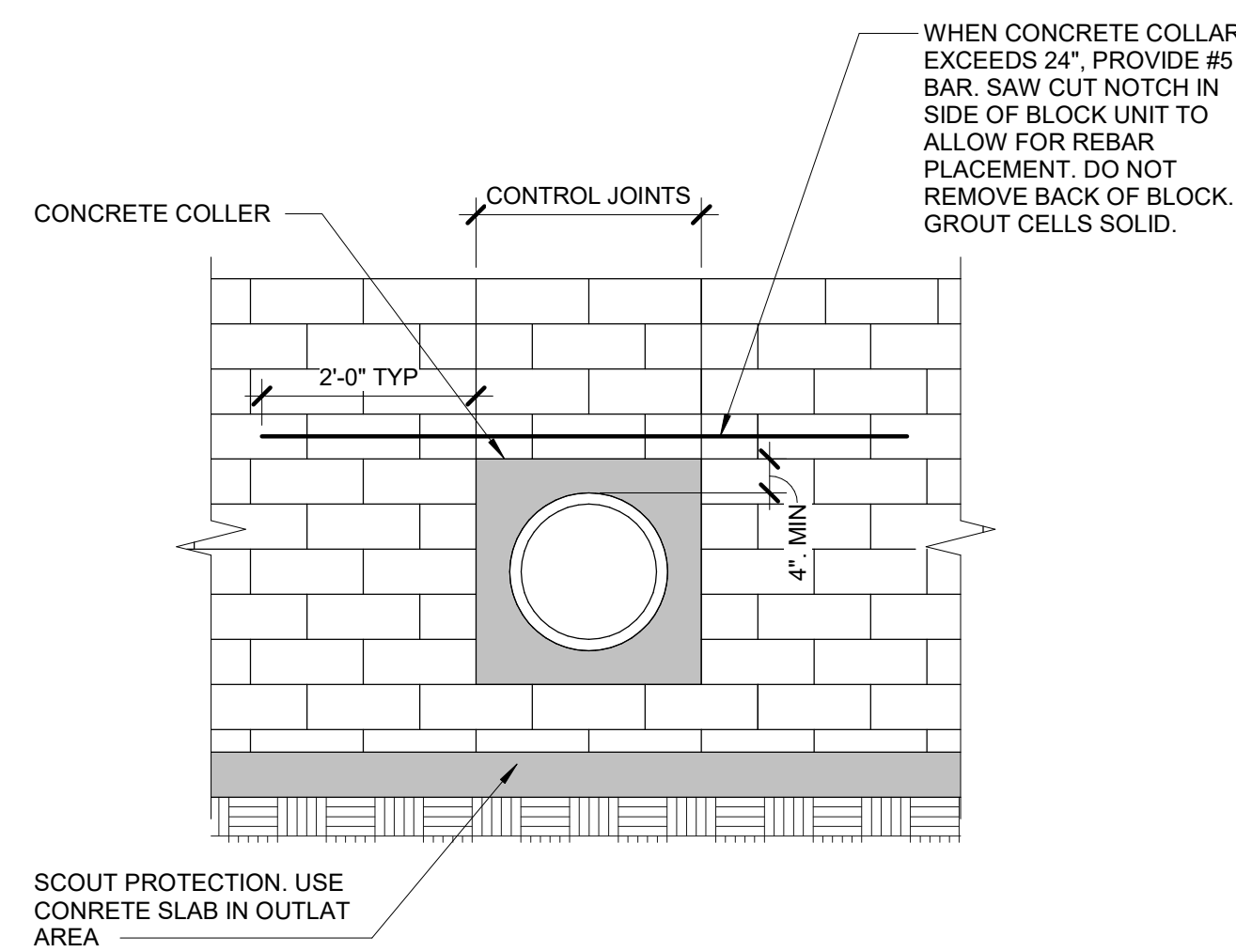
2 TOP OF WALL STEPS DETAIL
3/4" = 1'-0"



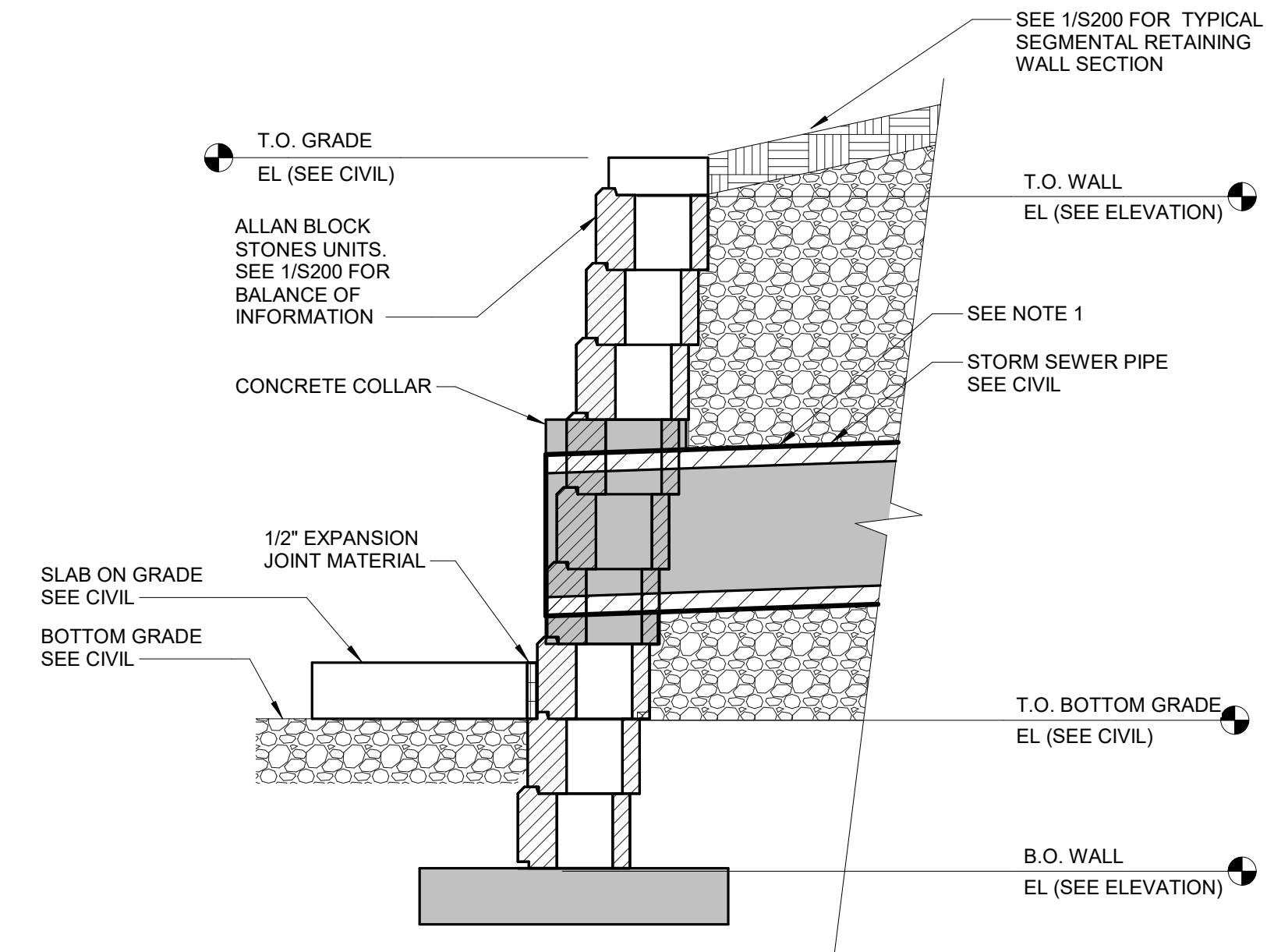
3 UNIT STEPPING DETAIL
3/4" = 1'-0"



4 DRAIN PIPE THROUGH DUCT
3/4" = 1'-0"



5 STORM SEWER ELEVATION VIEW DETAIL
3/4" = 1'-0"



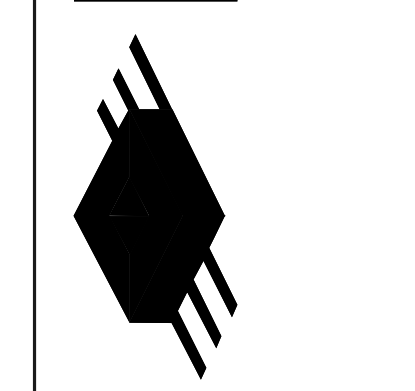
6 STORM SEWER WITH SLAB ON GRADE SECTION VIEW DETAIL
3/4" = 1'-0"

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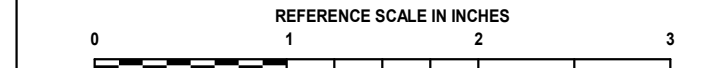


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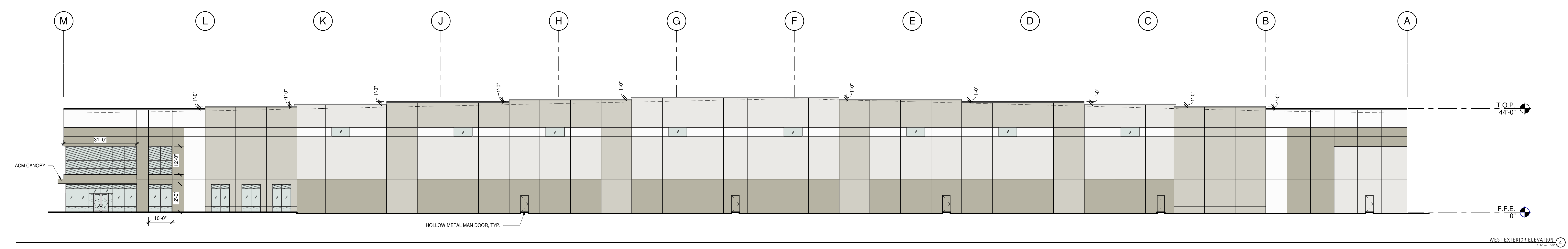
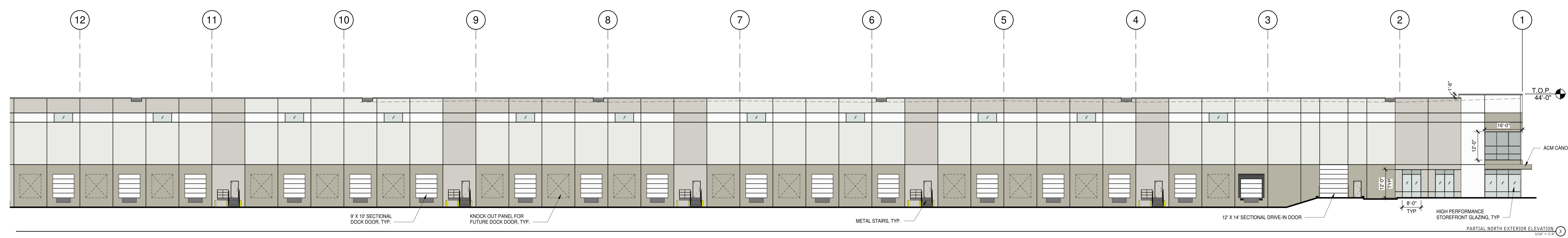
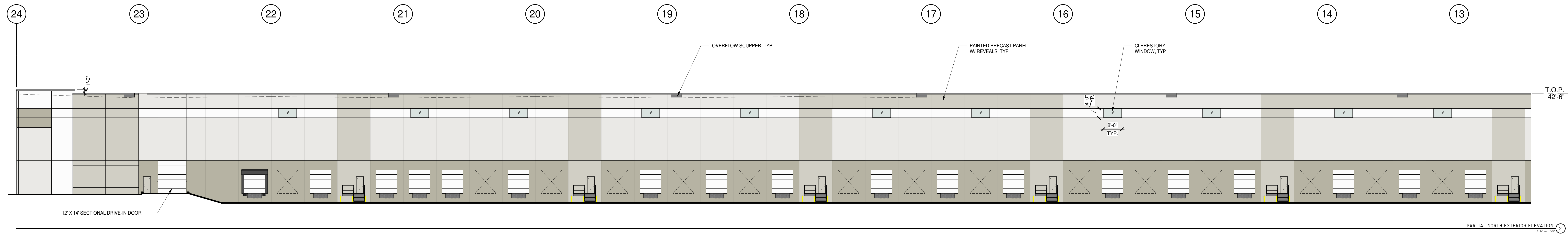
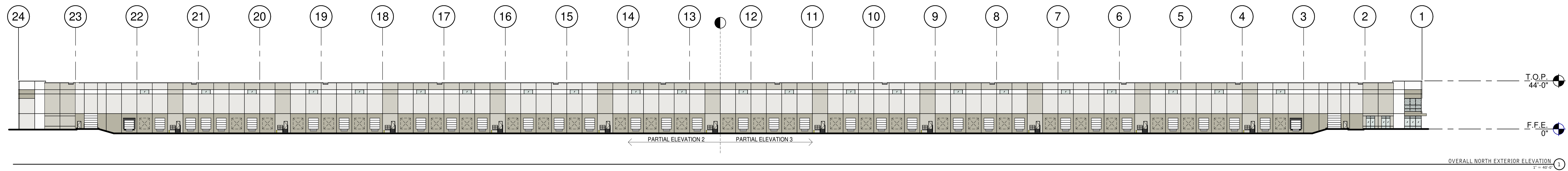


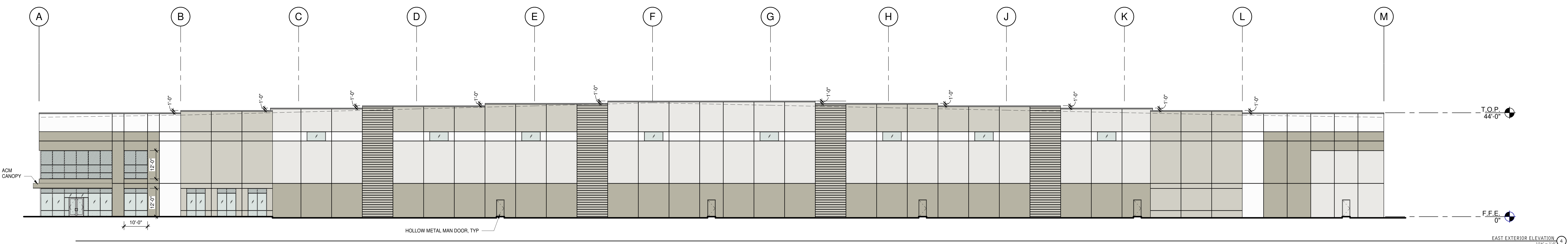
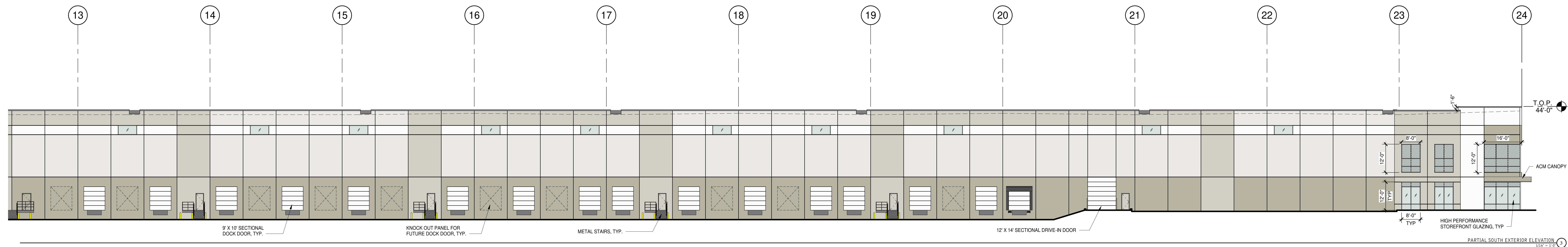
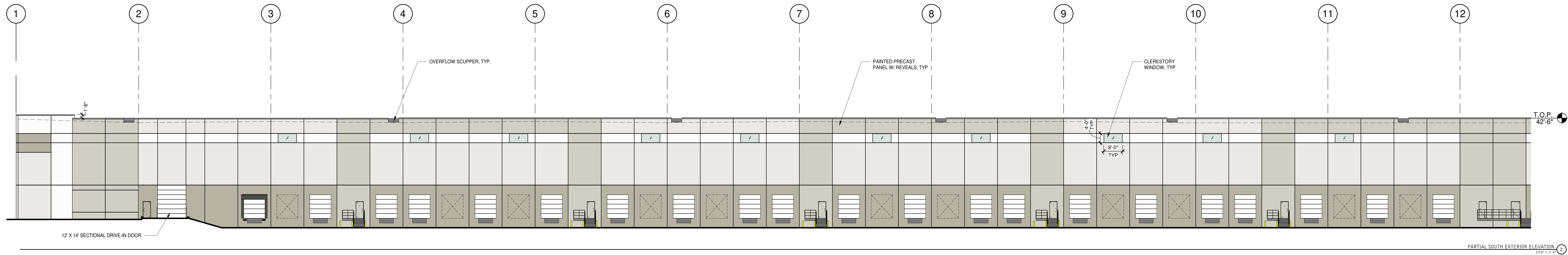
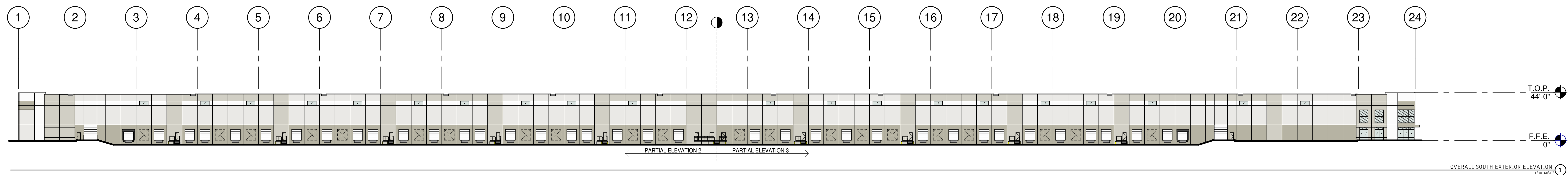
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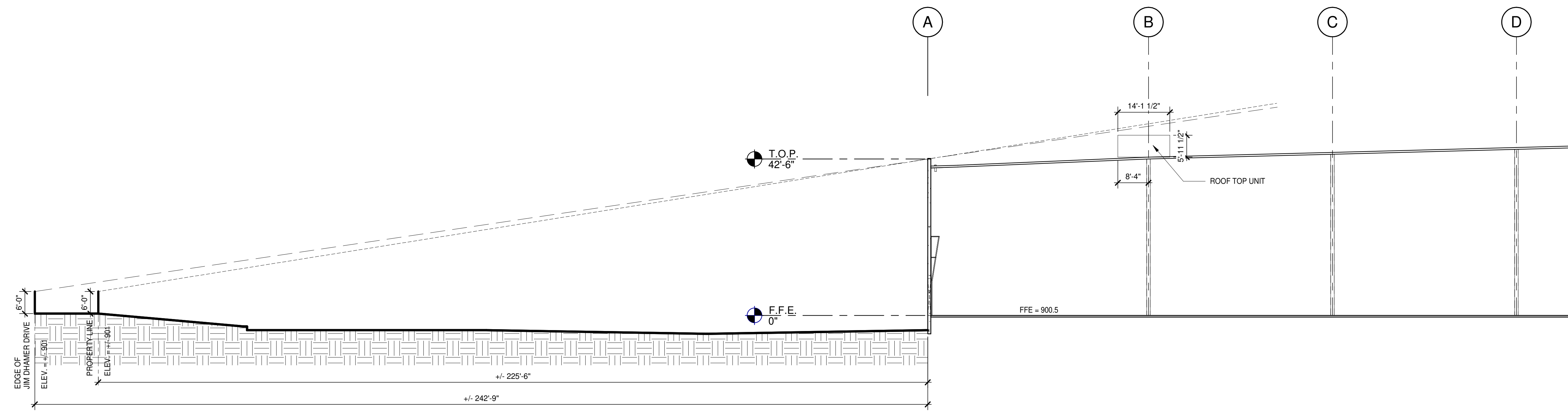
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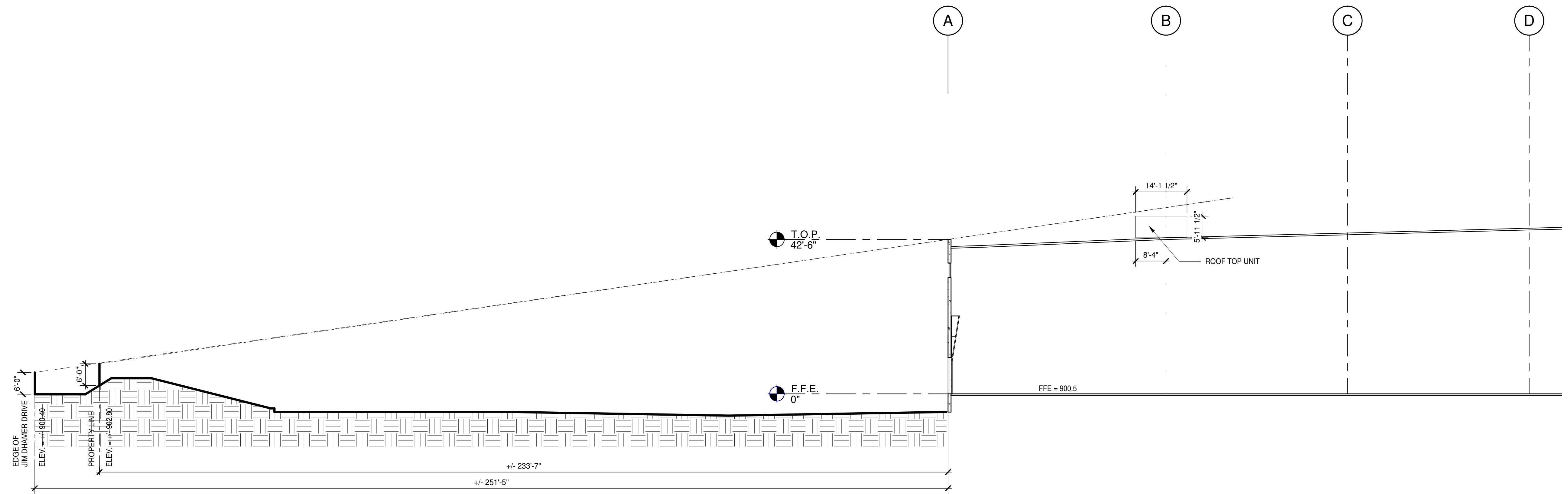
G355a
S201



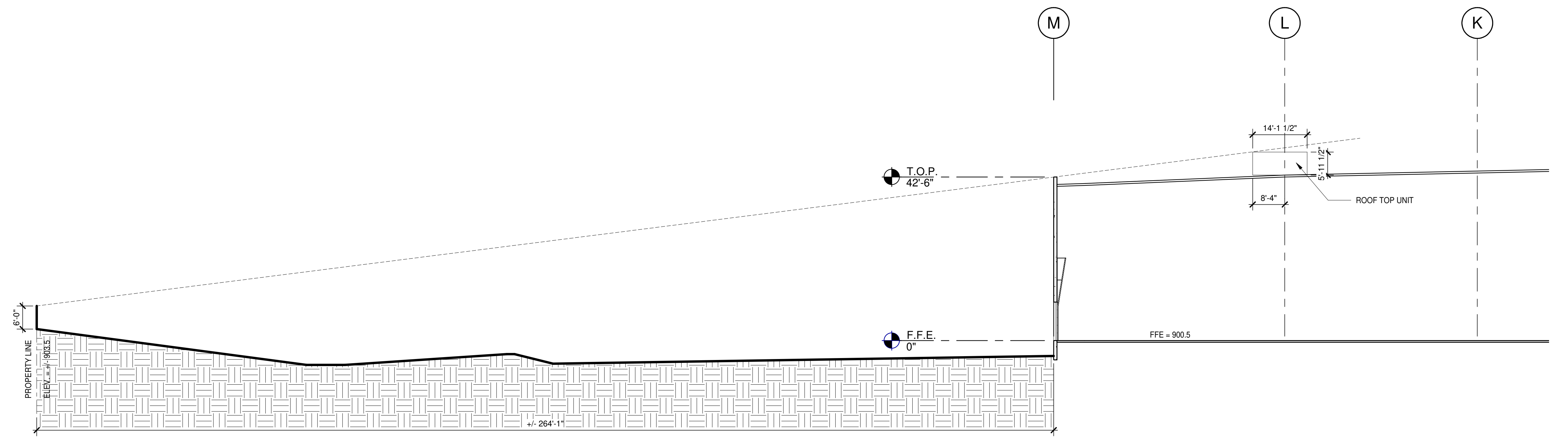




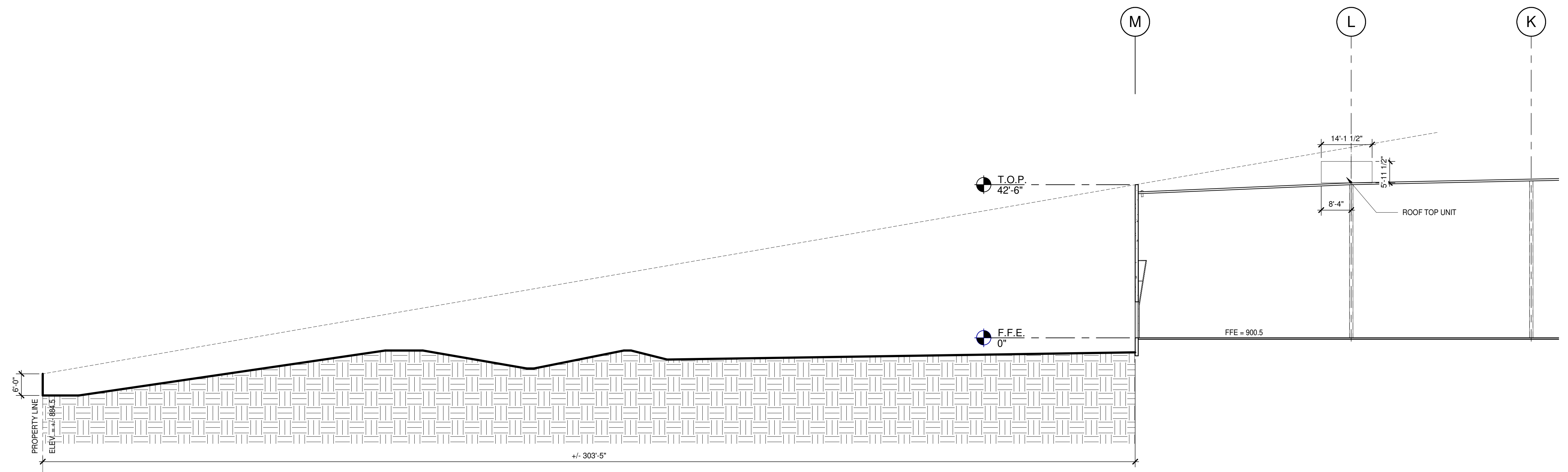
SECTION 1
SCALE: 1/16" = 1'-0" ①



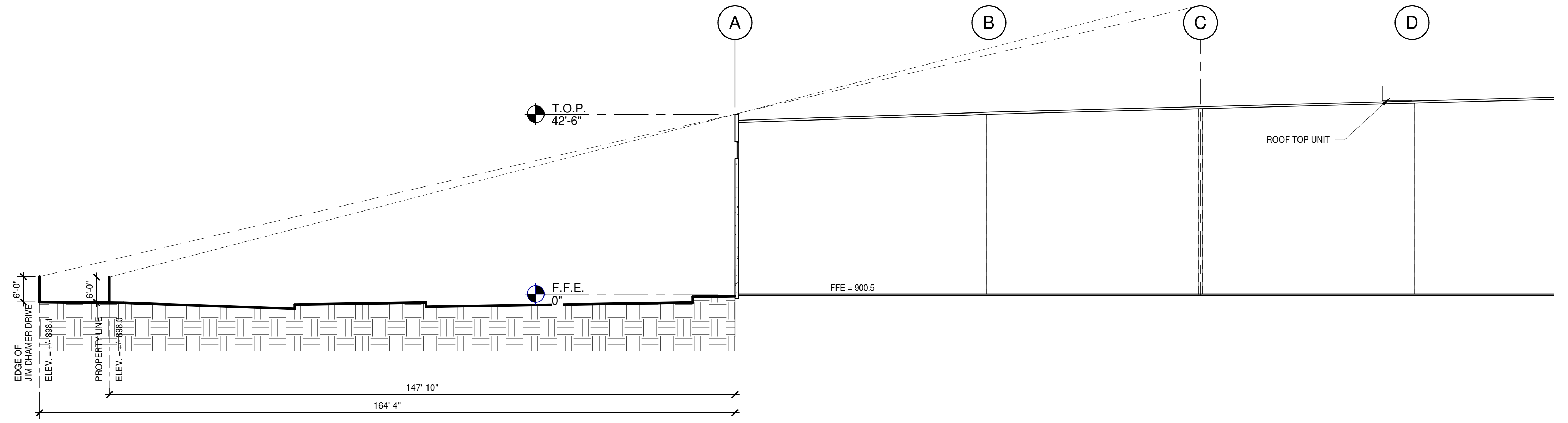
SECTION 2
SCALE: 1/16" = 1'-0" ②



SECTION 1
SCALE: 1/16" = 1'-0" ①



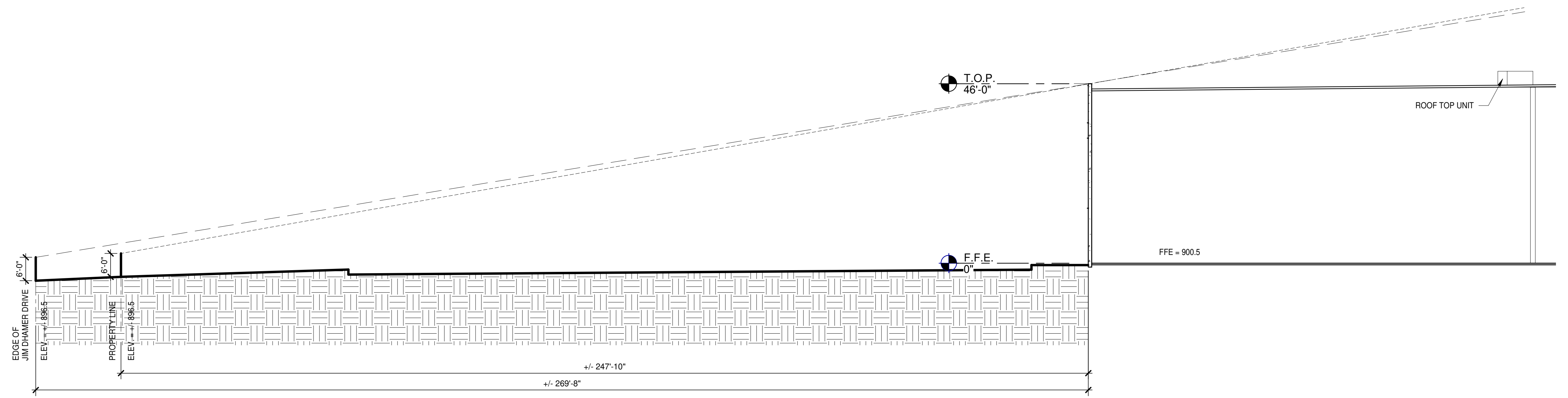
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SCALE: 1/16" = 1'-0" ②



SECTION 1

SCALE: 1/16" = 1'-0"

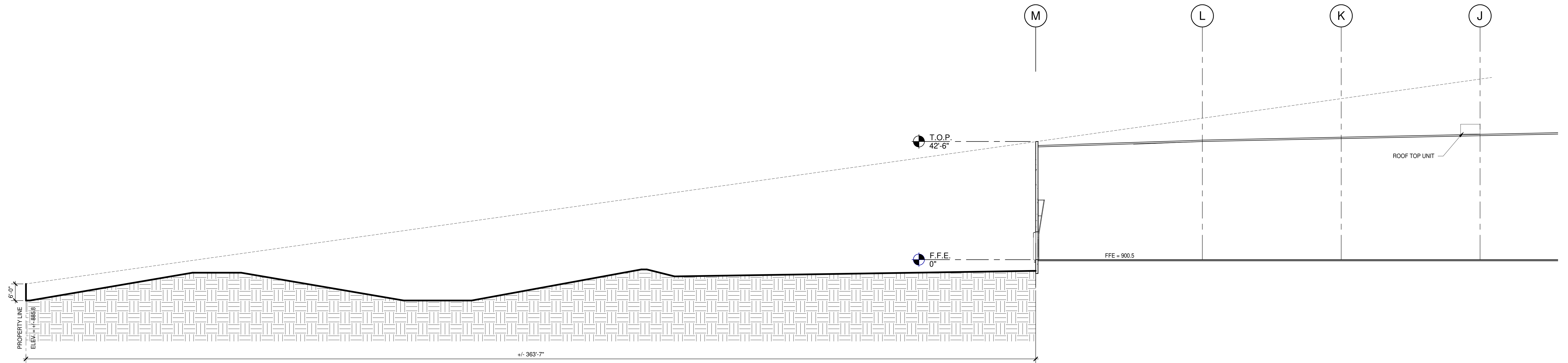
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SECTION 2

SCALE: 1/16" = 1'-0"

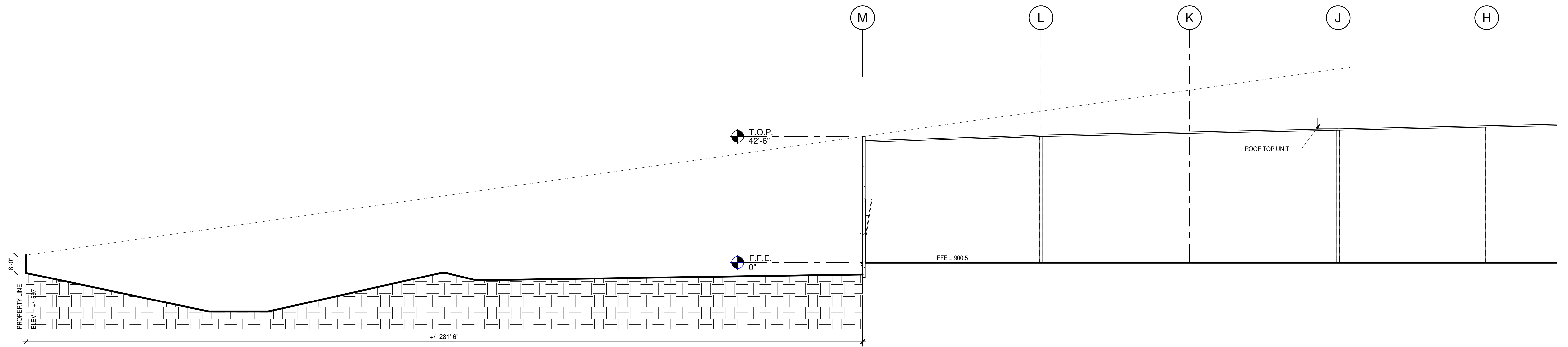
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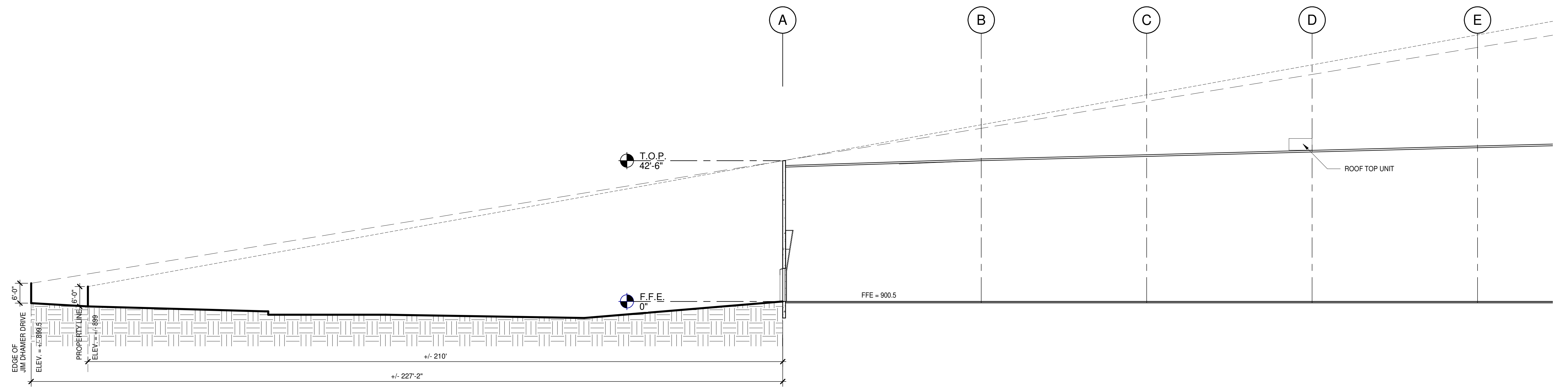
SECTION 3

SCALE: 1/16" = 1'-0"

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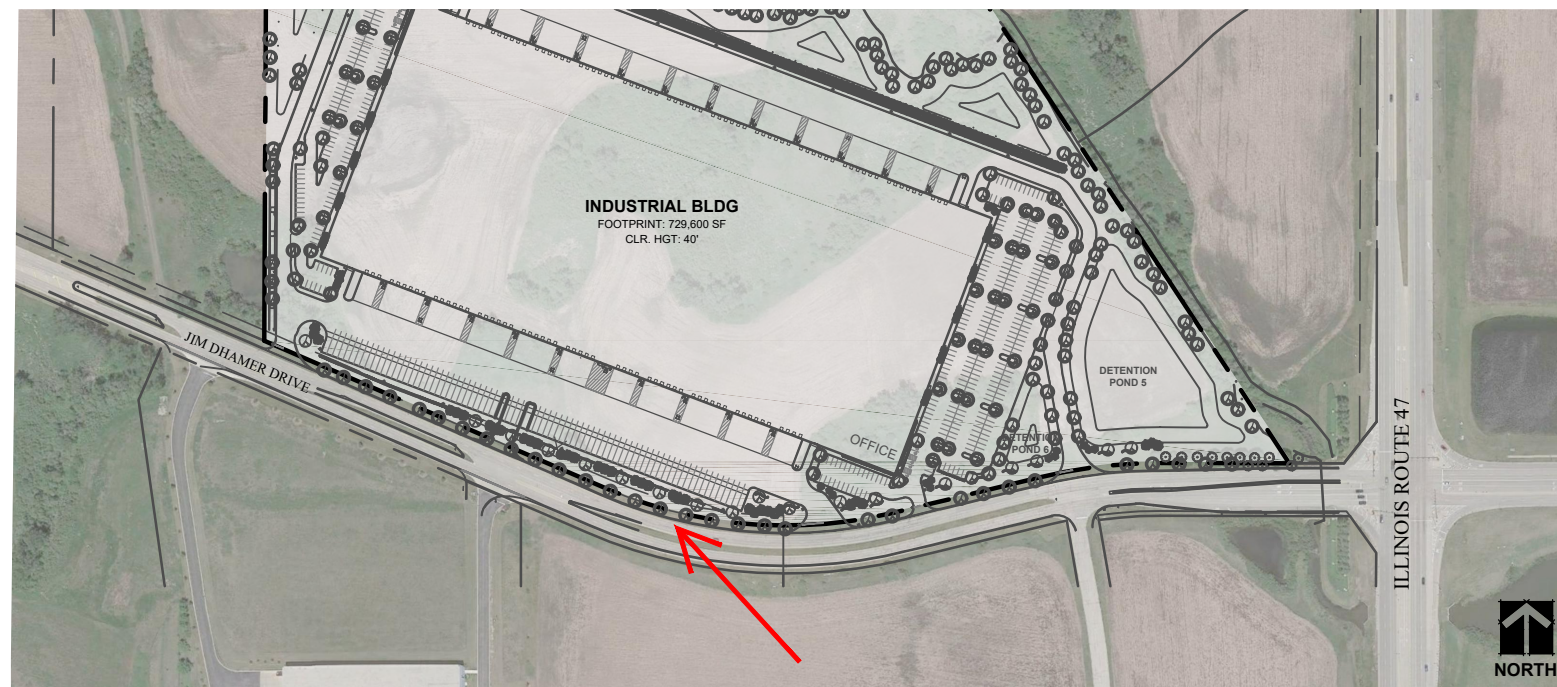
SECTION 1
SCALE: 1/16" = 1'-0" ①



SECTION 2
SCALE: 1/16" = 1'-0" ②



SOUTHEAST PERSPECTIVE



VENTUREPARK 47
HUNTLEY, ILLINOIS

4/18/2022



JACOB & HEFNER
ASSOCIATES



GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
WWW.GRWAINC.COM

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Final Landscape Plan

VENTUREPARK 47

Huntley, Illinois
May 9, 2022

CONSULTANTS:



LANDSCAPE ARCHITECT:
GARY R. WEBER ASSOCIATES, INC
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187



CIVIL ENGINEER:
JACOB & HEFNER ASSOCIATES
1333 BUTTERFIELD ROAD, SUITE 300
DOWNERS GROVE, ILLINOIS 60515



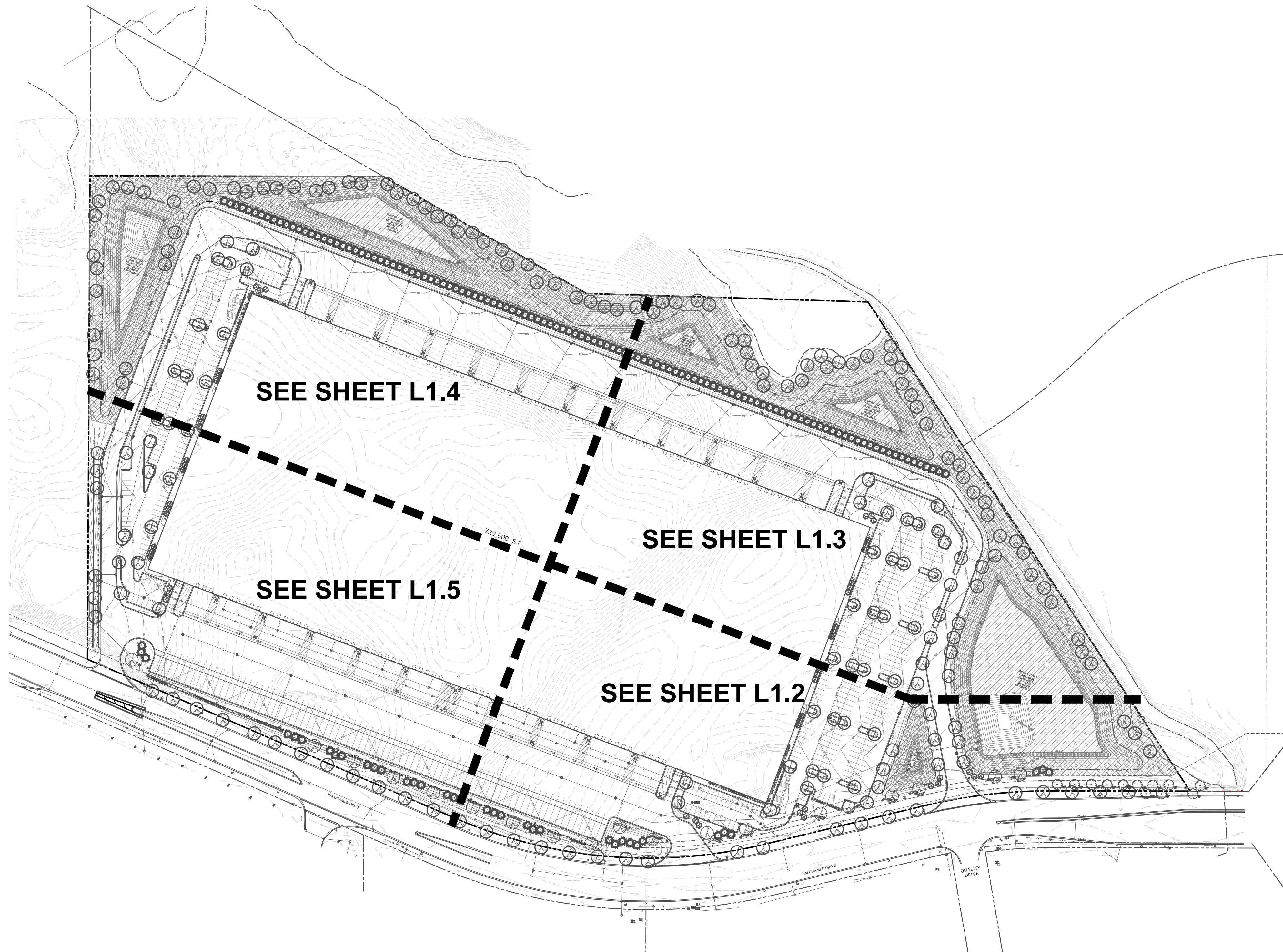
LOCATION MAP
SCALE: 1"= 400'

INDEX OF SHEETS

| SHEET NO. | DESCRIPTION |
|-----------|--------------------------|
| L1.0 | COVER SHEET |
| L1.1 | OVERALL LANDSCAPE PLAN |
| L1.2 | LANDSCAPE PLAN |
| L1.3 | LANDSCAPE PLAN |
| L1.4 | LANDSCAPE PLAN |
| L1.5 | LANDSCAPE PLAN |
| L1.6 | LANDSCAPE SPECIFICATIONS |

PLANT LIST

| Key | Qty | Botanical/Common Name | Min. Size | Remarks |
|---------------------------|-----|--------------------------------------------------------------------------|-------------|------------|
| SHADE TREES | | | | |
| AF | 22 | Acer x freemanii 'Marmo' MARMO FREEMAN MAPLE | 2 1/2" Cal. | |
| AM | 26 | Acer miyabei 'Morton' STATE STREET MAPLE | 2 1/2" Cal. | |
| AS | 22 | Acer saccharum 'Green Mountain' GREEN MOUNTAIN SUGAR MAPLE | 2 1/2" Cal. | |
| CO | 11 | Celtis occidentalis COMMON HACKBERRY | 2 1/2" Cal. | |
| GT | 21 | Gleditsia triacanthos var. inermis 'Skycole' SKYLINE HONEYLOCUST | 2 1/2" Cal. | |
| PE | 10 | Platanus x acerifolia 'Morton Circle' EXCLAMATION! LONDON PLANETREE | 2 1/2" Cal. | |
| QB | 18 | Quercus bicolor SWAMP WHITE OAK | 2 1/2" Cal. | |
| QM | 17 | Quercus macrocarpa BURR OAK | 2 1/2" Cal. | |
| QR | 16 | Quercus rubra RED OAK | 2 1/2" Cal. | |
| TC | 19 | Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN | 2 1/2" Cal. | |
| TT | 16 | Tilia tomentosa 'Sterling' STERLING SILVER LINDEN | 2 1/2" Cal. | |
| UM | 15 | Ulmus 'Morton Glossy' TRIUMPH ELM | 2 1/2" Cal. | |
| UC | 14 | Ulmus carpinifolia 'New Horizon' NEW HORIZON SMOOTHLEAF ELM | 2 1/2" Cal. | |
| ORNAMENTAL TREES | | | | |
| AG | 9 | Amelanchier x grandiflora APPLE SERVICEBERRY | 6' Ht. | Multi-Stem |
| CC | 6 | Cercis canadensis EASTERN REDBUD | 6' Ht. | Multi-Stem |
| CM | 21 | Cornus mas CORNELIANCHERRY DOGWOOD | 6' Ht. | Multi-Stem |
| MP | 3 | Malus 'Prairifire' PRAIRIFIRE CRABAPPLE | 6' Ht. | Multi-Stem |
| SR | 12 | Syringa reticulata 'Ivory Silk' IVORY SILK JAPANESE TREE LILAC | 6' Ht. | Multi-Stem |
| EVERGREEN TREES | | | | |
| AC | 15 | Abies concolor WHITE FIR | 8' Ht. | |
| PA | 18 | Picea abies NORWAY SPRUCE | 8' Ht. | |
| PG | 33 | Picea glauca var. densata BLACK HILLS SPRUCE | 8' Ht. | |
| PM | 18 | Picea smaritka SERBIAN SPRUCE | 8' Ht. | |
| PP | 38 | Picea pungens GREEN COLORADO SPRUCE | 8' Ht. | |
| PS | 30 | Pinus strobus EASTERN WHITE PINE | 8' Ht. | |
| DECIDUOUS SHRUBS | | | | |
| CF | 60 | Cornus sericea 'Farnau' ARCTIC FIRE REDTWIG DOGWOOD | 24" Tall | 4' O.C. |
| PO | 95 | Physocarpus opulifolius 'Donna May' LITTLE DEVIL NINEBARK | 24" Tall | 4' O.C. |
| RA | 46 | Ribes alpinum 'Green Mound' GREEN MOUND ALPINE CURRANT | 24" Tall | 5' O.C. |
| SM | 80 | Syringa meyeri 'Paladin' DWARF KOREAN LILAC | 24" Tall | 4' O.C. |
| WB | 24 | Weigela florida 'Bokrosapin' SONIC BLOOM PINK WEIGELA | 36" Tall | 5' O.C. |
| EVERGREEN SHRUBS | | | | |
| JK | 95 | Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT PFITZER JUNIPER | 24" Wide | 4' O.C. |
| JK36 | 33 | Juniperus chinensis 'Kallays Compact' KALLAYS COMPACT PFITZER JUNIPER | 36" Tall | 5' O.C. |
| ORNAMENTAL GRASSES | | | | |
| CK | 25 | Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS | #1 | 30" O.C. |
| PERENNIALS | | | | |
| HH | 56 | Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY | #1 | 18" O.C. |
| MISC. MATERIALS | | | | |
| 153 | | SHREDDED HARDWOOD MULCH | C.Y. | |
| 5.3 | | TURF SEED & EROSION CONTROL BLANKET | AC. | |

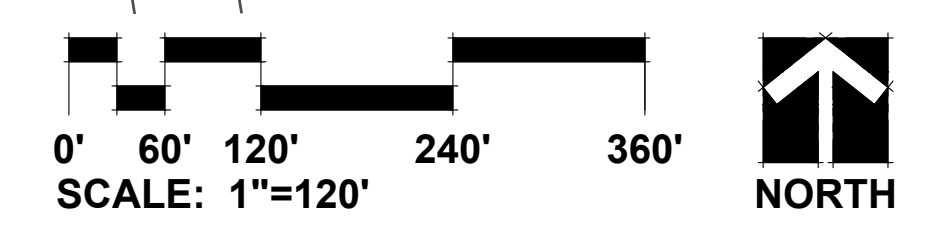


LANDSCAPE REQUIREMENTS TABLE

| Perimeter Setback Landscaping Along Street Right-of-Way | Foundation Landscaping: |
|--------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| Required: (2337 L.F. Frontage) 1 tree / 40 L.F. (58 Trees) | Required: (1406 L.F. - North Side Only) 1 tree / 25 l.f. (56 Trees) 1 shrub / 10 l.f. (140 Shrubs) |
| Provided: 25 Shade Trees 35 Evergreen Trees | Provided: 35 Shade Trees 36 Ornamental Trees 112 Deciduous Shrubs 65 Evergreen Shrubs |
| Screening from Residential | Parking Lot Islands |
| Required: (1107 L.F. Frontage) 1 Evergreen Tree / 15 L.F. (74 Trees) | Required: 1 shade tree / 10 spaces (45 Trees) |
| Provided: 80 Evergreen Trees | Provided: 60 Shade Trees |
| Perimeter Setback Landscaping Along Non-Residential | Detention Basins |
| Required: (2004 L.F. Frontage) 1 shade tree / 75 l.f. (27 Trees) | Required: (59805 S.F.) 1 shade tree / 750 S.F. (80 Trees) |
| Provided: 27 Shade Trees | Provided: 80 Shade Trees |

GENERAL LANDSCAPE NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



NATIVE AREA QUANTITIES

| Key | Quantity | Description |
|-----|----------|--------------------------------------------------------|
| | 1.54 AC. | EMERGENT PLANTINGS |
| | 0.62 AC. | WET MEADOW SEED MIX & EROSION CONTROL BLANKET |
| | 6.08 AC. | LOW PROFILE PRAIRIE SEED MIX & EROSION CONTROL BLANKET |

GRWA
GARY R. WEBER ASSOCIATES, INC.
 LAND PLANNING
 ECOLOGICAL CONSULTING
 LANDSCAPE ARCHITECTURE
 402 W. LIBERTY DRIVE
 WHEATON, ILLINOIS 60187
 PHONE: 630-668-7197

CIVIL ENGINEER
JACOB & HEFNER ASSOCIATES, INC.
 1333 BUTTERFIELD ROAD, SUITE 300
 DOWNERS GROVE, ILLINOIS 60515

VENTUREPARK 47 HUNTLEY, ILLINOIS OVERALL LANDSCAPE PLAN

| REVISIONS | DATE |
|-----------|-----------|
| 3 | 5.09.2022 |
| 2 | 5.03.2022 |
| 1 | 4.22.2022 |

| | |
|-------------|-----------|
| DATE | 4.04.2022 |
| PROJECT NO. | JH21125 |
| DRAWN | TRC |
| CHECKED | GF8 |
| SHEET NO. | |

L1.1



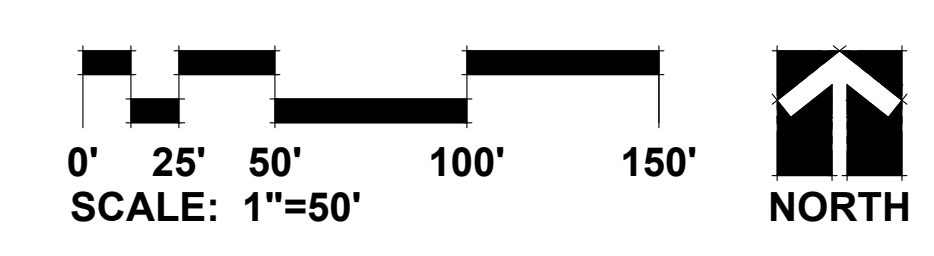
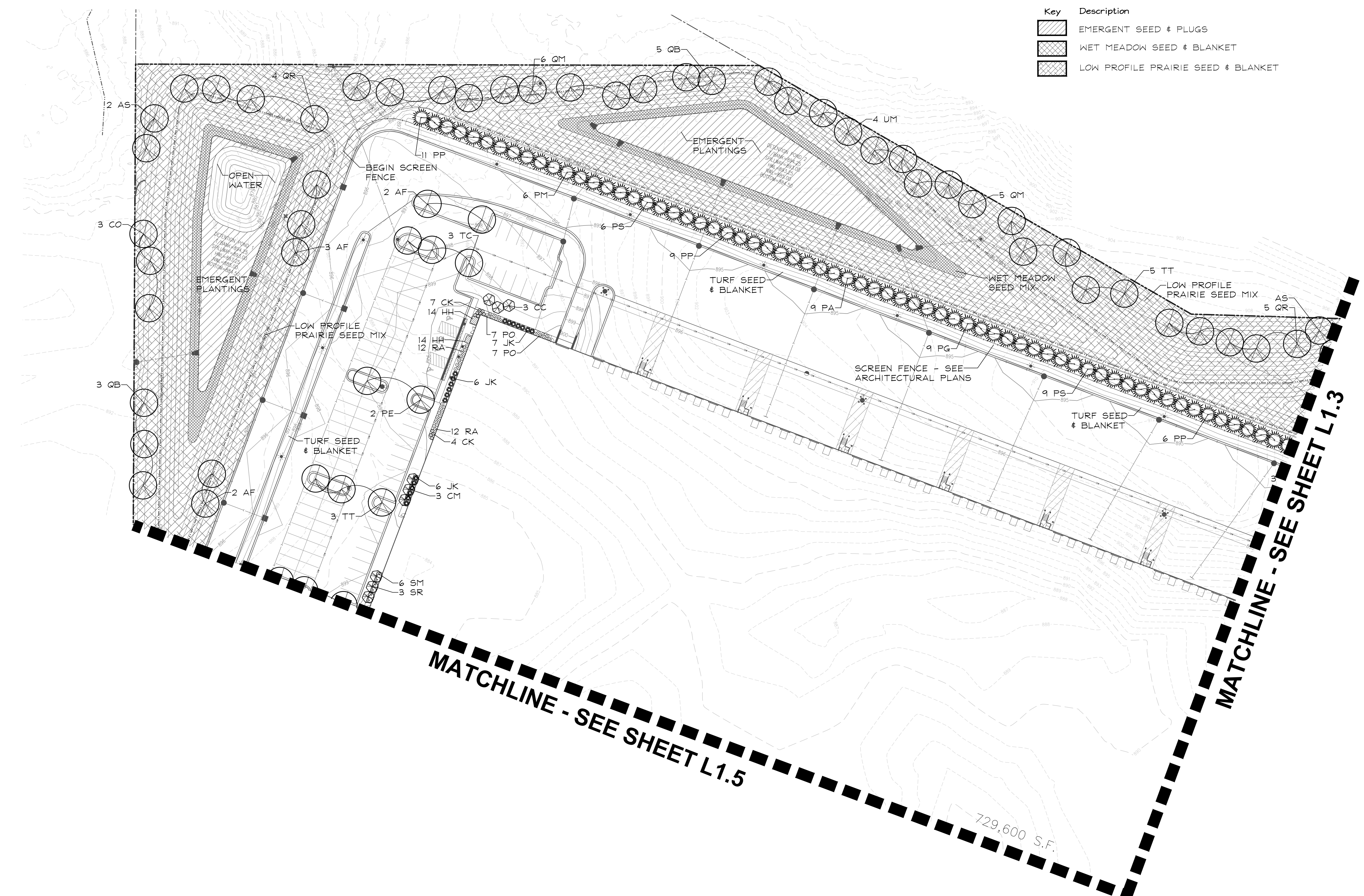


GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187
PHONE: 630-668-7197

CIVIL ENGINEER
JACOB & HEFNER
ASSOCIATES, INC.
1333 BUTTERFIELD ROAD, SUITE 300
DOWNERS GROVE, ILLINOIS 60515

NATIVE LEGEND

| Key | Description |
|-----|------------------------------------|
| | EMERGENT SEED & PLUGS |
| | WET MEADOW SEED & BLANKET |
| | LOW PROFILE PRAIRIE SEED & BLANKET |



VENTUREPARK 47

HUNTLEY, ILLINOIS

LANDSCAPE PLAN

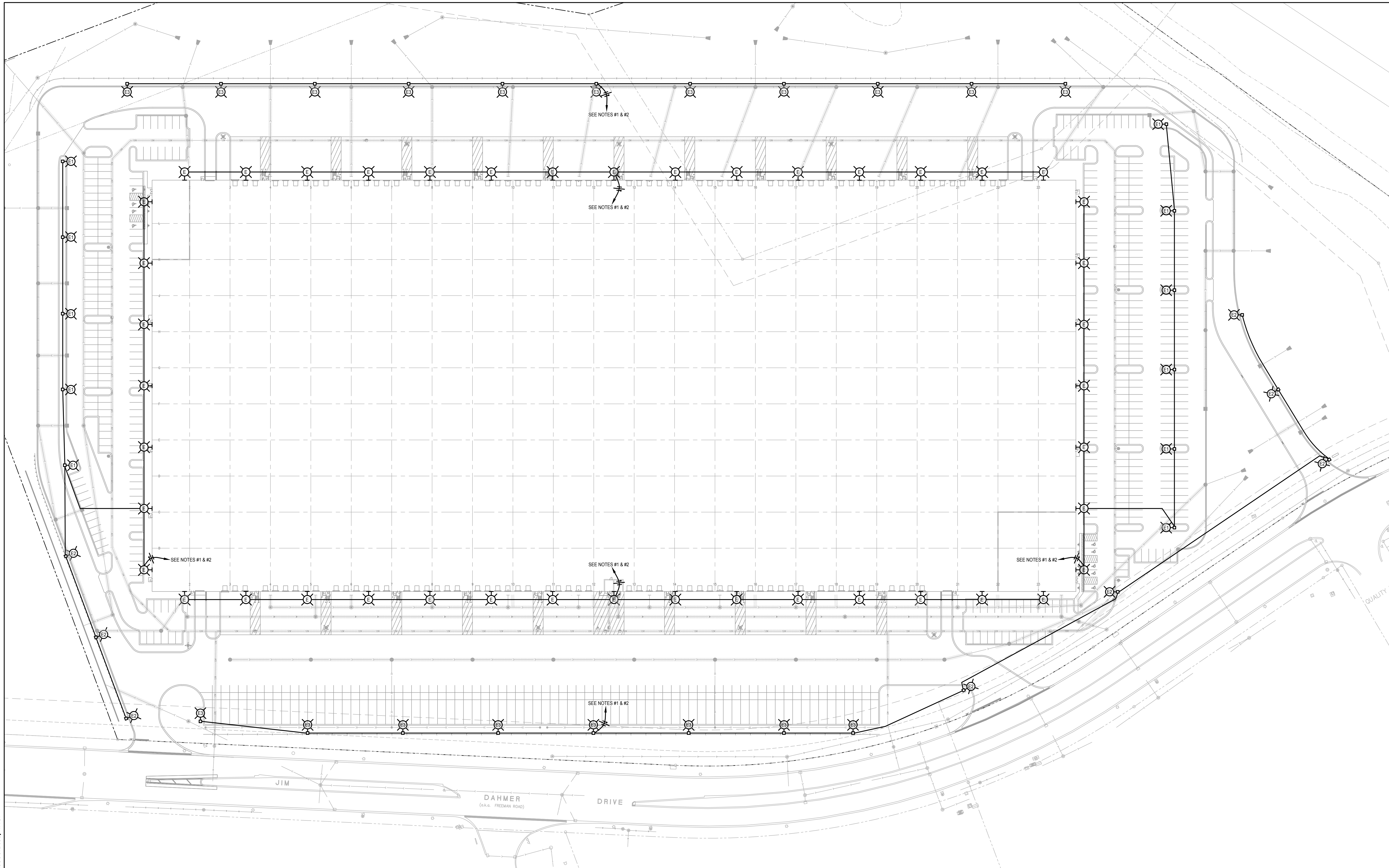
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|-----|-----------|
| 3 | 5.09.2022 |
| 2 | 5.03.2022 |
| 1 | 4.22.2022 |

DATE: 4.04.2022
PROJECT NO.: JH21125
DRAWN: TRC
CHECKED: GFB
SHEET NO.:

L1.4



DATE PLOTTED: 5/11/2022 10:58:10 AM



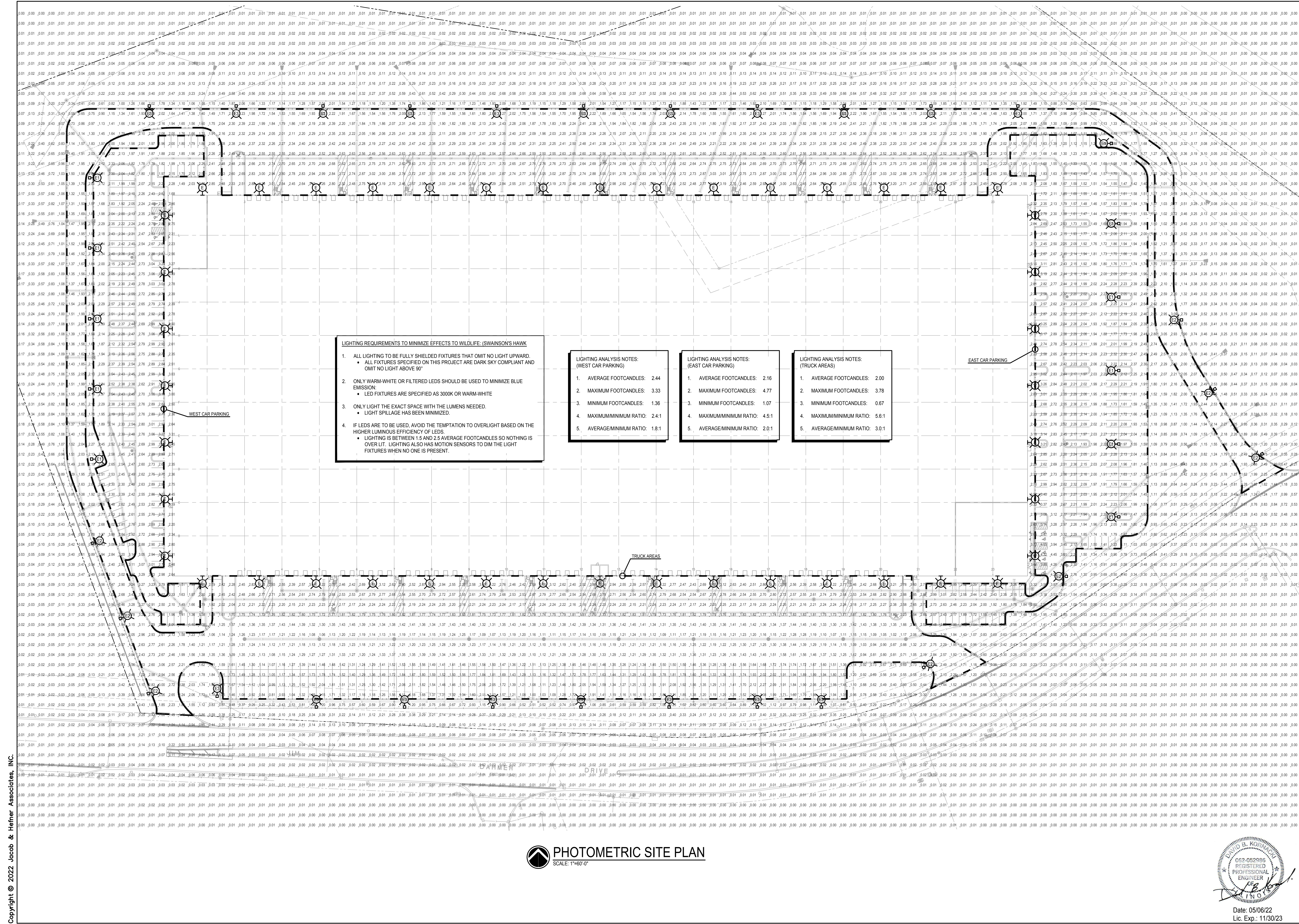
ELECTRICAL SITE PLAN
SCALE: 1"=60'-0"

- NOTES:**
1. EACH LIGHT FIXTURE TO HAVE MOTION SENSOR CONTROL. LIGHT FIXTURES TO DIM TO 33% IN UNOCCUPIED MODE. ALL LIGHTS TO COME TO FULL BRIGHTNESS WHEN ONE MOTION SENSOR IS ACTIVATED.
 2. 2 #8 THIN & 1 #8 GND. IN 3/4" C. TO LIGHTING PANEL VIA PHOTOCLOCK-ON, TIMECLOCK-OFF.
 3. ELECTRICAL CONDUIT RUN IN SOUTHEAST CORNER OF BUILDING SHALL NOT ENCRoACH HORIZONTALLY WITHIN 10' OF THE SITES WATERMAIN.



Date: 05/06/22
Lic. Exp.: 11/30/23

| <p>JACOB & HEFNER ASSOCIATES 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com</p> | | <p>ELECTRICAL SITE PLAN</p> | | | | | | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----|-------------|------|---|------------------|----------|--|------------------------|----------|
| | | <p>VENTUREPARK 47 VENTURE ONE REAL ESTATE, LLC. HUNTLEY, ILLINOIS</p> | | | | | | | | | | |
| <p>AS NOTED</p> | | <p>22058</p> | | | | | | | | | | |
| <p>E1</p> | | <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>FOR PERMIT & BID</td> <td>05/06/22</td> </tr> <tr> <td></td> <td>PERMIT REVIEW COMMENTS</td> <td>05/06/22</td> </tr> </tbody> </table> | | No. | Description | Date | 1 | FOR PERMIT & BID | 05/06/22 | | PERMIT REVIEW COMMENTS | 05/06/22 |
| No. | Description | Date | | | | | | | | | | |
| 1 | FOR PERMIT & BID | 05/06/22 | | | | | | | | | | |
| | PERMIT REVIEW COMMENTS | 05/06/22 | | | | | | | | | | |



- LIGHTING REQUIREMENTS TO MINIMIZE EFFECTS TO WILDLIFE: (SWANSON'S HAWK)**
- ALL LIGHTING TO BE FULLY SHIELDED FIXTURES THAT OMIT NO LIGHT UPWARD.
 - ALL FIXTURES SPECIFIED ON THIS PROJECT ARE DARK SKY COMPLIANT AND OMIT NO LIGHT ABOVE 90°
 - ONLY WARM-WHITE OR FILTERED LEDS SHOULD BE USED TO MINIMIZE BLUE EMISSION.
 - LED FIXTURES ARE SPECIFIED AS 3000K OR WARM-WHITE
 - ONLY LIGHT THE EXACT SPACE WITH THE LUMENS NEEDED.
 - LIGHT SPILLAGE HAS BEEN MINIMIZED.
 - IF LEDS ARE TO BE USED, AVOID THE TEMPTATION TO OVERLIGHT BASED ON THE HIGHER LUMINOUS EFFICIENCY OF LEDS.
 - LIGHTING IS BETWEEN 1.5 AND 2.5 AVERAGE FOOTCANDELS SO NOTHING IS OVER LIT. LIGHTING ALSO HAS MOTION SENSORS TO DIM THE LIGHT FIXTURES WHEN NO ONE IS PRESENT.

LIGHTING ANALYSIS NOTES: (WEST CAR PARKING)

- AVERAGE FOOTCANDELS: 2.44
- MAXIMUM FOOTCANDELS: 3.33
- MINIMUM FOOTCANDELS: 1.36
- MAXIMUM/MINIMUM RATIO: 2.4:1
- AVERAGE/MINIMUM RATIO: 1.8:1

LIGHTING ANALYSIS NOTES: (EAST CAR PARKING)

- AVERAGE FOOTCANDELS: 2.16
- MAXIMUM FOOTCANDELS: 4.77
- MINIMUM FOOTCANDELS: 1.07
- MAXIMUM/MINIMUM RATIO: 4.5:1
- AVERAGE/MINIMUM RATIO: 2.0:1

LIGHTING ANALYSIS NOTES: (TRUCK AREAS)

- AVERAGE FOOTCANDELS: 2.00
- MAXIMUM FOOTCANDELS: 3.78
- MINIMUM FOOTCANDELS: 0.67
- MAXIMUM/MINIMUM RATIO: 5.6:1
- AVERAGE/MINIMUM RATIO: 3.0:1

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PHOTOMETRIC SITE PLAN
SCALE: 1"=60'-0"

| | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------|
| <p>JACOB & HEFNER ASSOCIATES</p> <p>1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com</p> | | <p>05/06/22</p> <p>04/05/22</p> <p>Date</p> |
| <p>PHOTOMETRIC SITE PLAN</p> <p>VENTUREPARK 47</p> <p>VENTURE ONE REAL ESTATE, LLC.</p> <p>HUNTLEY, ILLINOIS</p> | | <p>PERMIT REVIEW COMMENTS</p> <p>1 FOR PERMIT & BID</p> <p>No.</p> |
| <p>Corporation Registration #184-0005174</p> <p>JACOB & HEFNER ASSOCIATES, INC.</p> <p>CONSULTING ELECTRICAL ENGINEERS</p> <p>5405 WEST BRAWLEY AVENUE</p> <p>CHICAGO, ILLINOIS 60631</p> <p>(630) 794-3332 FAX (630) 794-3014</p> | | <p>AS NOTED</p> <p>22058</p> <p>E2</p> |
| <p>DAVID B. KOZMANYI</p> <p>052-025986</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>STATE OF ILLINOIS</p> | | <p>Date: 05/06/22</p> <p>Lic. Exp.: 11/30/23</p> |

FIXTURE SCHEDULE

| TYPE | INPUT WATTS | VOLTS | LUMENS | COLOR TEMP | CRI | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | SHIELDING | FINISH | MOUNTING | CONTROLS | | SEE NOTES |
|------|-------------|-------|--------|------------|-----|-----------------------|--------------|------------------------------------------------|-----------|--------|--------------------|----------|----------|-----------|
| | | | | | | | | | | | | INTEGRAL | REMOTE | |
| E | 241 | 277 | 25061 | 3000K | ● | EXTERIOR WALL BRACKET | LITHONIA | DSX1 LED-P9-30K-T4M-MVOLT-WBA-NLTAIR2-PIRHN | | SBA | WALL 35'-0" A.F.G. | OS | PHOTO/TC | #1 |
| E1 | 241 | 277 | 26581 | 3000K | ● | POLE & LUMINAIRE | LITHONIA | DSX1 LED-P9-30K-T5M-MVOLT-SPA-NLTAIR2-PIRHN | | SBA | SEE DETAIL 1/E3 | OS | PHOTO/TC | #1 |
| E2 | 241 | 277 | 25617 | 3000K | ● | POLE & LUMINAIRE | LITHONIA | DSX1 LED-P9-30K-T3M-MVOLT-SPA-NLTAIR2-PIRHN | | SBA | SEE DETAIL 1/E3 | OS | PHOTO/TC | #1 |
| E3 | 241 | 277 | 25061 | 3000K | ● | POLE & LUMINAIRE | LITHONIA | DSX1 LED-P9-30K-T4M-MVOLT-SPA-NLTAIR2-PIRHN-HS | | SBA | SEE DETAIL 2/E3 | OS | PHOTO/TC | #1 |

FIXTURE SCHEDULE NOTES:

- EACH LIGHT FIXTURE TO HAVE MOTION SENSOR CONTROL. LIGHT FIXTURES TO DIM TO 33% IN UNOCCUPIED MODE. ALL LIGHTS TO COME TO FULL BRIGHTNESS WHEN ONE MOTION SENSOR IS ACTIVATED.

SYMBOLS / ABBREVIATIONS

| | |
|--|---------------------------------------------------------|
| | WALL BRACKET/WALL SCONCE FIXTURE - SEE FIXTURE SCHEDULE |
| | SURFACE/PENDANT FIXTURE - SEE FIXTURE SCHEDULE |
| | RECESSED DOWNLIGHT FIXTURE - SEE FIXTURE SCHEDULE |
| | POLE & LUMINAIRE(S) FIXTURE - SEE FIXTURE SCHEDULE |
| | SWITCHED CIRCUIT |
| | BRANCH CIRCUIT |
| | ABOVE FINISHED FLOOR |
| | ABOVE FINISHED GRADE |
| | ARC FAULT INTERRUPTER |
| | AMPERES/AMPERAGE |
| | AUDIO VISUAL |
| | BATTERY BACKUP |
| | BELOW FINISHED CEILING |
| | BUILT-IN OVERLOAD |
| | BREAKER |
| | BAKED WHITE ENAMEL |
| | COLOR BY ARCHITECT |
| | CONTROL PANEL |
| | CIRCUIT |
| | CONTROL |
| | DOCK EQUIPMENT CONTROL PANEL |
| | DISCONNECT |
| | ELECTRICAL CONTRACTOR |
| | EMERGENCY |
| | EXISTING RELOCATED |
| | ELECTRONIC TIME CLOCK CONTROL |
| | EXISTING TO REMAIN |
| | EXISTING TO BE DEMOID |
| | EXISTING TO BE RELOCATED |
| | ELECTRIC WATER COOLER |
| | FIRE ALARM ANNUNCIATOR PANEL |
| | FIRE ALARM CONTROL PANEL |
| | FULL LOAD AMPS |
| | FLOAT SWITCH |
| | FIRE PROTECTION CONTRACTOR |
| | FURNISHED |
| | GENERAL CONTRACTOR |
| | GROUND FAULT CIRCUIT INTERRUPTER |
| | GROUND |
| | HAND-OFF-AUTOMATIC SWITCH |
| | HORSEPOWER |
| | HEATING AND VENTILATING CONTRACTOR |
| | ISOLATED GROUND |
| | INTEGRAL |
| | IN ROOM |
| | IN UNIT |
| | JUNCTION BOX |
| | KILOWATTS |
| | LIGHTING CONTROL PANEL |
| | LOCATION |
| | LOW TEMPERATURE |
| | LIGHT SWITCH |
| | LOW VOLTAGE THERMOSTAT |
| | MAGNETIC STARTER |
| | MANUAL STARTER |
| | MINIMUM CIRCUIT AMPS |
| | MANUAL STARTER WITH PILOT LIGHT |
| | NIGHT LIGHT |
| | NEAR UNIT |
| | OVERHEAT PROTECTION |
| | OCCUPANCY SENSOR |
| | ON UNIT |
| | PUSH BUTTON |
| | PLUMBING CONTRACTOR |
| | PNEUMATIC ELECTRIC SWITCH |
| | PREWIRED |
| | REFRIGERATION CONTRACTOR |
| | REFRIGERATION CONTROL CONTRACTOR |
| | RECEPTACLE |
| | SELECTED BY ARCHITECT |
| | SEPARATE CIRCUIT |
| | SPEED SWITCH |
| | SOFT START |
| | SHUNT TRIP |
| | SWITCH |
| | LINE VOLTAGE THERMOSTAT |
| | TO BE DETERMINED |
| | TIME CLOCK |
| | TEMPERATURE CONTROL CONTRACTOR |
| | TEMPERATURE CONTROL PANEL |
| | UNIT MANUFACTURER |
| | UNLESS NOTED OTHERWISE |
| | VARIABLE FREQUENCY DRIVE |
| | WATTS |
| | WEATHER PROOF ("WHILE-IN-USE") |
| | TRANSFORMER |

D-Series Size 1 LED Area Luminaire

Specifications:
 EPA: 1.01 ft² (0.09 m²)
 Length: 33"
 Width: 13"
 Height H1: 7'-1/2"
 Height H2: 3'-1/2"
 Weight (max): 27 lbs

Introduction:
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information: EXAMPLE: DSX1 LED P7 Q4 T3M MVOLT SPA NLTAIR2 PIRHN DOBXD

| Series | LEDs | Color Temperature | Distribution | Mounting | Shipped Included |
|----------|----------------------------------------------------|-------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DSX1 LED | Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 | 30K 3000K 40K 4000K 50K 5000K | T15 Type I short (Automotive) T25 Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium T5M Type V medium | T3V5 Type V short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control LCCO Left corner cast RCCO Right corner cast | MVOLT ¹ XVOLT (277V-480V) ^{2,3} RPA Round pole mounting ¹ WBA Wall bracket ¹ SPUBA Square pole universal mounting adaptor ¹ RUBA Round pole universal mounting adaptor ¹ KMA8 DOBXDU Most arm mounting bracket adaptor (specify finish) ¹² |

Control options:
 NLTAR2 Night Light
 PIRN Network, high flow motion/ambient sensor¹⁴
 PER NEMA twist-lock receptacle only (controls ordered separately)¹⁵
 PER5 Five-pin receptacle only (controls ordered separately)¹⁶
 PER7 Seven-pin receptacle only (controls ordered separately)¹⁶
 DMG 0-10v dimming when paired outside fixture for use with an external control, ordered separately¹⁷
 DS Dual switching^{18,19}

Other options:
 PIR High flow, motion/ambient sensor, 8'-15' mounting height, ambient sensor enabled at 30"²⁰
 PIRH High flow, motion/ambient sensor, 15'-30' mounting height, ambient sensor enabled at 30"²⁰
 PIRHFCV High flow, motion/ambient sensor, 8'-15' mounting height, ambient sensor enabled at 30"²⁰
 PIRHFCVH High flow, motion/ambient sensor, 15'-30' mounting height, ambient sensor enabled at 30"²⁰
 T4M Type IV medium
 T5M Type V medium
 T5W Type V wide
 BLC Backlight control
 LCCO Left corner cast
 RCCO Right corner cast

Finish options:
 DOBXD Dark bronze
 DOBX Black
 DMXAD Natural aluminum
 DMXAD White
 DMXAD Textured dark bronze
 DMXAD Textured black
 DMXAD Textured natural aluminum
 DMXAD Textured white
 DMXAD Galvanized
 DMXAD Architectural colors and special finishes
 DMXAD Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available.

Shipped installed:
 NLTAR2 Night Light generation 2 enabled¹¹
 PIRN Network, high flow motion/ambient sensor¹⁴
 PER NEMA twist-lock receptacle only (controls ordered separately)¹⁵
 PER5 Five-pin receptacle only (controls ordered separately)¹⁶
 PER7 Seven-pin receptacle only (controls ordered separately)¹⁶
 DMG 0-10v dimming when paired outside fixture for use with an external control, ordered separately¹⁷
 DS Dual switching^{18,19}

Shipped separately:
 KMA8 DOBXDU Most arm mounting bracket adaptor (specify finish)¹²
 BS Bird spikes²¹
 E65 External glare shield

Accessories: Order as separate catalog number.
 PL D120 Plug for ESX drilling
 PL D18 Plug for DMXAS drilling

LITHONIA LIGHTING
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
 DSX1-LED Rev. 07/19/21 Page 1 of 8

SSS Square Straight Steel Poles

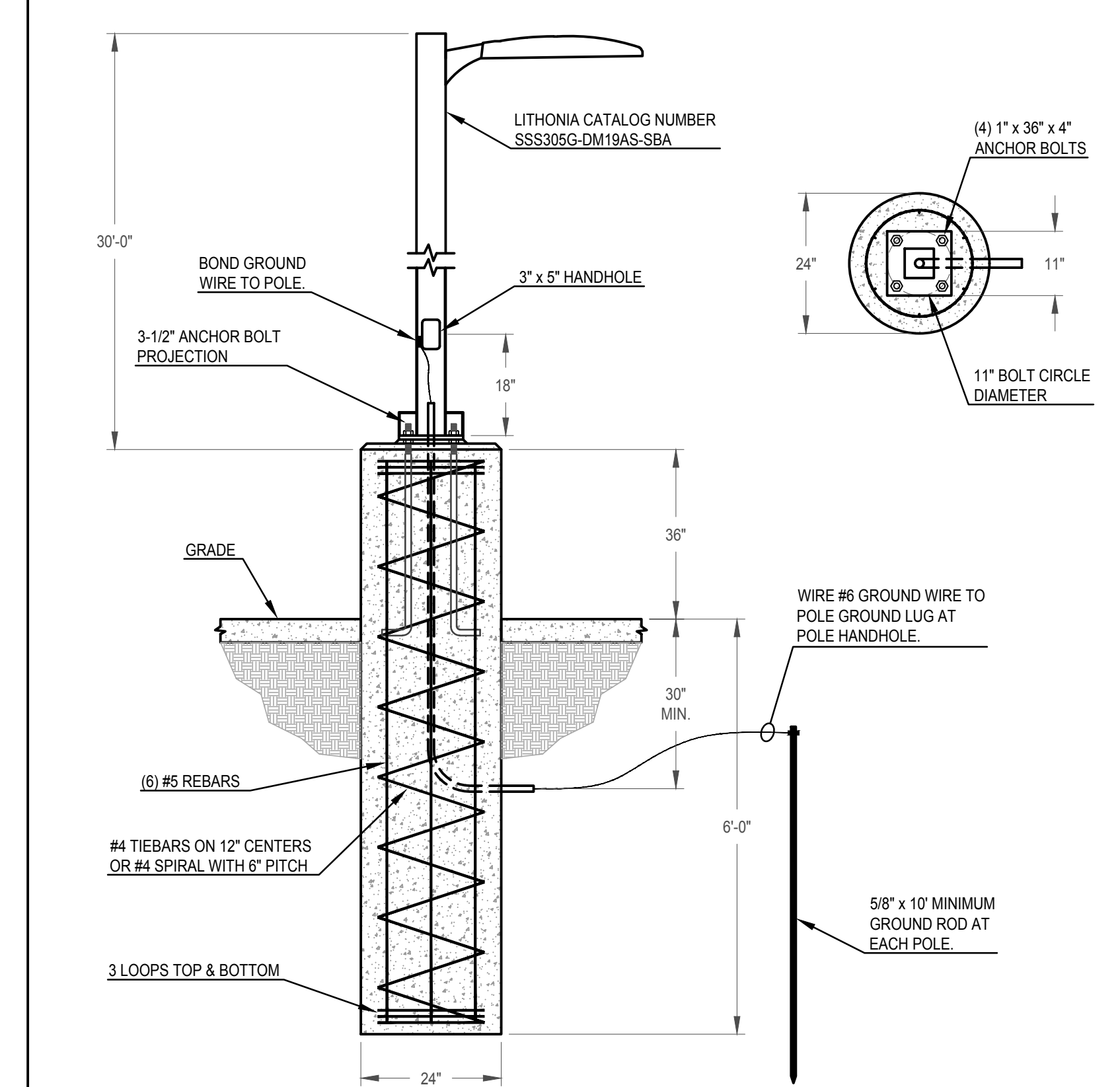
Lead times will vary depending on options selected. Consult with your sales representative.

| Series | Nominal fixture mounting height | Nominal shaft base size/wall thickness | Mounting ¹ | Options | Finish ² |
|--------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SSS | 10'-20' (for 1/2" increments, add .6" to the pole height. Ex: 20'-6 equals 20ft 6in.) | 4C 4" (1 1/4") 4E 4" (1 1/4") 5C 5" (1 1/4") 5E 5" (1 1/4") 6E 6" (1 1/4") | Tension mounting F1 Open top (includes top cap) T20 2-3/8" O.D. (2" NPS) T25 2-7/8" O.D. (2 1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS) KAC, KAD, KAS, KSI, KXV, KYE, DRILL MOUNTING ¹³ DM19 1.4 at 90° DM28 2.4 at 90° DM28 PL 2.4 at 180° with one side shipped DM29 2.4 at 90° DM39 4.4 at 90° DM49 4.4 at 90° DM28AS 2.4 at 180° DM28ASL 2.4 at 90° DM28ASL 3.4 at 90° DM48AS 4.4 at 90° DM48ASL 4.4 at 90° DM19RAD 1.4 at 90° DM28RAD 2.4 at 180° DM28RAD 2.4 at 90° DM38RAD 3.4 at 90° DM48RAD 4.4 at 90° ESX Drill mounting ¹³ DM19EX 1.4 at 90° DM28EX 2.4 at 180° DM28EX 2.4 at 90° DM38EX 3.4 at 90° DM48EX 4.4 at 90° | ACER ²² Suspend drill mounting ²³ VD Vibration damper ²⁴ Hky Horizontal arm bracket (1 fixture) ²⁵ Fdy Fyeston outlet less electrical ²⁶ CP12xy 1/2" coupling ²⁷ CP13xy 3/4" coupling ²⁷ CP14xy 1" coupling ²⁷ NPL12xy 1/2" threaded nipple ²⁸ NPL13xy 3/4" threaded nipple ²⁸ NPL14xy 1" threaded nipple ²⁸ EHy Extra handle ²⁹ NEC NEC #10-30 compliant galvanized handle (Not UL Labeled) IC Interior coating ³⁰ LAB Less anchor bolts (include when anchor bolts are not needed) TP Tamper resistant handle cover fasteners UL UL listed with label (includes NEC compliant cover) BAA Buy America (a) Act Compliant ³¹ | Super durable paint colors: DOBXD Dark bronze DMXAD Natural aluminum DMXAD White DMXAD Textured dark bronze DMXAD Textured black DMXAD Textured natural aluminum DMXAD Textured white Other finishes: GALV Galvanized finish Architectural colors and special finishes Paint over Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes available. |

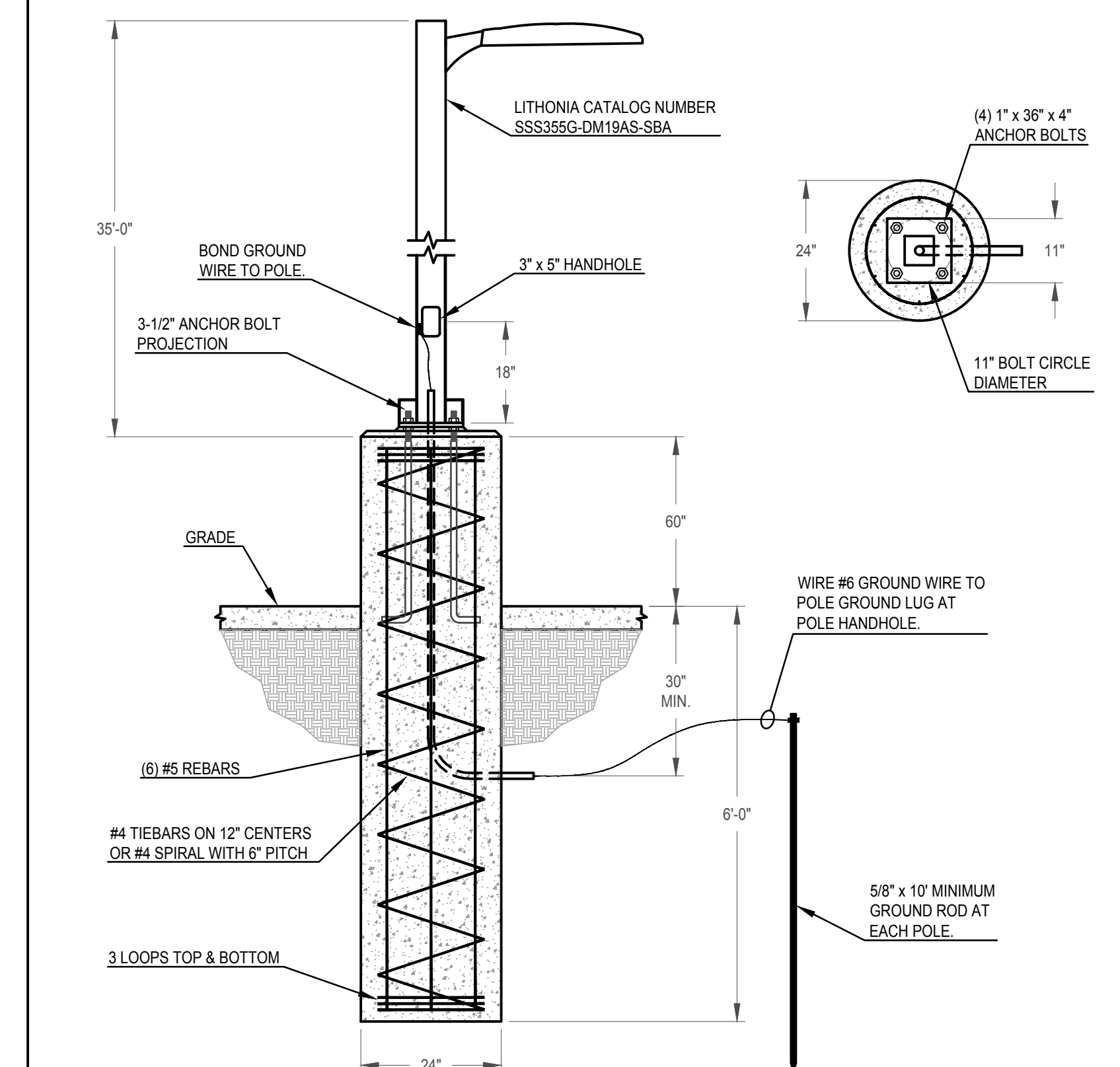
NOTES:
 1. Handle covers (HCL), full base covers (FBC) and top caps (TC) shipped separately. No need to call out in nomenclature. For additional parts please refer to replacements.
 2. Wall thickness will be lighted with "C" (1" Gauge) or a "D" (2" Gauge) in nomenclature. "C" - 4.1166" (1" - 4.1172") Example: 5H - 5 and 20H - 20-3
 3. F1 open top poles include top cap. When ordering tension mounting and drill mounting for the same pole, follow this example: DM28T20. The combination includes a required extra handle.
 4. Refer to the fixture spec sheet for the correct drilling template pattern and orientation compatibility.
 5. Insert "1" or "2" to designate fixture size: e.g. DM19AS12.
 6. On "V" and "F" poles, VD cannot be installed if provisions (HRL, FDL, NPL, CPU) are located higher than 1/3 of the pole's total height. Example: Pole height is 25'. A provision cannot be placed above 16ft.
 7. Specify location and orientation when ordering options.
 8. For "X": Specify the height above the base of pole in feet or feet and inches; separate feet and inches with "-". Example: 5H - 5 and 20H - 20-3
 9. For "Y": Specify orientation from handle (A, B, C, D) Refer to the Handle Orientation diagram below. Example: 1/2" coupling at 7' 8" orientation = CP12AS-8C
 10. Horizontal arms in 18" x 2-3/8" O.D. tension standard, with radius curve providing 12" rise and 2-3/8" O.D. If ordering two horizontal arms at the same height, specify with Hkyay. Example: H42880.
 11. FX does not come with GCI outlet or handle cover. These must be supplied by contractor or electrician.
 12. Combination of tension-top and drill mount includes extra handle. DRILL include cover.
 13. Provides enhanced corrosion resistance.
 14. Use when mill certifications are required.
 15. Finish must be specified. Additional colors available; see Architectural Colors brochure linked here (Form No. 794.3).

Accessories: Order as separate catalog number.
 PL D120 Plug for ESX drilling
 PL D18 Plug for DMXAS drilling

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1 ELECTRICAL FIXTURE TYPES 'E1' & 'E2' MOUNTING DETAIL NOT TO SCALE



2 ELECTRICAL FIXTURE TYPE 'E3' MOUNTING DETAIL NOT TO SCALE

SCHEDULES & DETAILS
VENTUREPARK 47
VENTURE ONE REAL ESTATE, LLC.
HUNTLEY, ILLINOIS

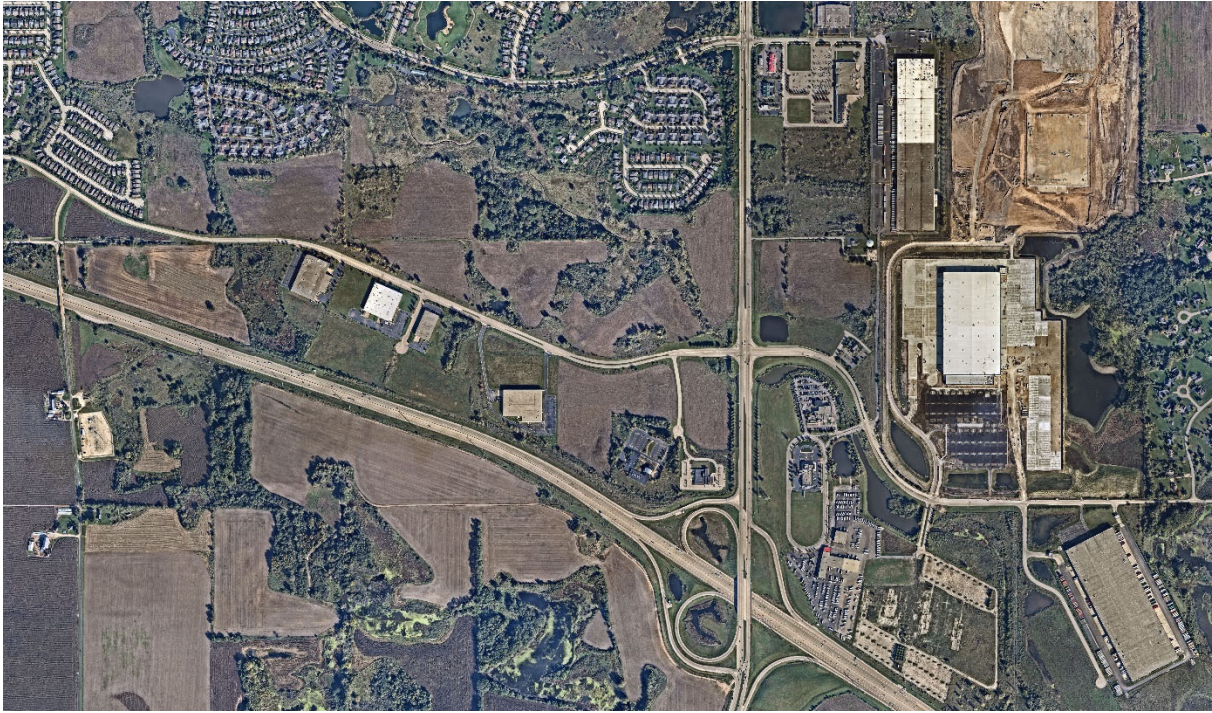
JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com

Corporation Registration #184-000374
JACOB & HEFNER ASSOCIATES, INC.
 CONSULTING ELECTRICAL ENGINEERS
 5405 S. WESTERN AVE. SUITE 300
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 (630) 784-3332 FAX: (630) 784-8014

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 DANIEL B. KOZMACKI
 ILLINOIS



TRAFFIC IMPACT STUDY

VenturePark 47 – Huntley, Illinois

May 05, 2022

Prepared for:
Jacob & Hefner Associates, Inc.
1333 Butterfield Road, Suite 300
Downers Grove, Illinois 60515

**Sam
Schwartz**

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Executive Summary

Sam Schwartz Consulting (Sam Schwartz) was retained by Jacob & Hefner Associates to conduct a traffic impact study for a proposed industrial development in Huntley, Illinois. The subject site is located on the north side of Jim Dhamer Drive west of Illinois Route 47 and is currently used for agricultural purposes.

As proposed, the subject site would be developed to contain an approximately 729,600 square-foot building that would likely be occupied by two separate industrial tenants who would each occupy half of the proposed building, divided into east and west sections with vehicular cross access between the two sides prohibited through gates or barriers. A concept site plan depicting the proposed development is included in the Appendix, illustrating four full-access driveways to Jim Dhamer Drive. The proposed driveway configuration is described below:

- **Access 1:** A proposed full-access driveway that would align opposite Quality Drive on the north side of Jim Dhamer Drive.
- **Access 2:** A proposed full-access driveway located approximately 330 feet west of Access 1.
- **Access 3:** A proposed full-access driveway located approximately 220 feet west of Access 2.
- **Access 4:** A proposed full-access driveway located approximately 190 feet east of the westmost Hiwin access driveway.

Based on the results of the traffic study, the following recommendations were identified to accommodate site traffic within the study area.

- At each site access driveway:
 - Provide a single outbound lane with a single receiving lane.
 - Post minor-leg stop control for outbound site traffic.
- On Jim Dhamer Drive:
 - At Access 1, install a left-turn lane providing 145 feet of storage and a taper length of approximately 105 feet extending to Access 2.
 - At Access 2, stripe the center lane west of the access as continuous left-turn storage totaling approximately 120 feet extending to Access 3.
 - At Access 3, install a left-turn lane providing 145 feet of storage with 175 feet of taper.

Additionally, based on an understanding that Village staff has expressed preliminary support for the location of Access 4 due to limitations of the property boundary of the site, two configurations could be provided:

- At Hiwin Access 2, the westbound left-turn lane could be restriped to include approximately 75 feet of storage and 50 feet of taper. At Access 4, the remaining space available between Hiwin Access 2 and Access 4 could be converted into a hatched median space. This configuration is illustrated on the concept site plan.
- Alternatively, eastbound left turns into the site at Access 4 could be prohibited and the existing median between Access 3 and Access 4 could be modified to provide a channelized lane for U-Turn maneuvers. This configuration could also be positioned to be used as an inbound left-turn

lane for the potential future access shown on the site plan if it is to be further considered. This would be accompanied by a No Left Turn (*R3-2*) sign posted for eastbound traffic on Jim Dhamer Drive at Access 4.

With these improvements in place, it is anticipated that area traffic operation would be acceptable following completion of the subject site.

1.0 Introduction

Sam Schwartz Consulting (Sam Schwartz) was retained by Jacob & Hefner Associates to conduct a traffic impact study for a proposed industrial development in Huntley, Illinois. The subject site is located on the north side of Jim Dhamer Drive west of Illinois Route 47 and is currently used for agricultural purposes. An aerial view of the existing study arepa can be seen in **Figure 1**.

As proposed, the subject site would be developed to contain an approximately 729,600 square-foot building that would likely be occupied by two separate industrial tenants who would each occupy half of the proposed building, divided into east and west sections. Based on information provided by the development team, it is understood that these tenant spaces would be separated both internally and externally, with vehicular cross access between the two sides prohibited through gates or barriers. A concept site plan depicting the proposed development is included in the Appendix, illustrating four full-access driveways to Jim Dhamer Drive. The proposed driveway configuration is described below:

- **Access 1:** A proposed full-access driveway that would align opposite Quality Drive on the north side of Jim Dhamer Drive.
- **Access 2:** A proposed full-access driveway located approximately 330 feet west of Access 1.
- **Access 3:** A proposed full-access driveway located approximately 220 feet west of Access 2.
- **Access 4:** A proposed full-access driveway located approximately 190 feet east of the westmost Hiwin access driveway.

A future fifth driveway located between Access 3 and Access 4 on the north side of Jim Dhamer Drive is shown as an option on the concept site plan, but is not included in these analyses based on indications from the development team that this driveway ultimately may not be provided; discussion of how this future access may be designed at its intersection with Jim Dhamer Drive is included in later sections of this study.

The following report documents Sam Schwartz's methodology regarding data collection, traffic forecasting, and capacity analyses performed for this study. Recommended improvements are documented to mitigate anticipated traffic-related impacts resulting from the proposed development and to improve the functionality of the local transportation system.



Not to Scale



2.0 Baseline Conditions

Sam Schwartz conducted a field visit to collect relevant information pertaining to the site, the surrounding street network, traffic volumes, traffic controls, lane geometry, and infrastructure at the study intersections. Based on these characteristics, intersection capacity was evaluated to establish baseline operational conditions for the study area, as described in the following sections.

2.1. Area Land Uses & Connectivity

Located along the north side of Jim Dhamer Drive west of Illinois Route 47 (IL 47), the subject parcel is currently agricultural in use. The site is bordered immediately to the north and west by other agricultural uses, and by the Sun City senior residential community further in the same directions. Several office and industrial developments are located directly opposite the site on the south side of Jim Dhamer Drive, including two medical office buildings, a Hiwin manufacturing plant, and two other industrial uses. Further to the north, land uses are largely residential and are primarily in the Village of Huntley, as well as the neighboring communities of Lakewood and Lake in the Hills.

The subject property fronts Jim Dhamer Drive along the entirety of its southern frontage. Approximately 715 feet east of the site's proposed easternmost access driveway, Jim Dhamer Drive intersects with IL 47, an Illinois Department of Transportation (IDOT) Strategic Regional Arterial (SRA) and Class II truck route that provides regional connectivity to the north and south. Approximately one-quarter mile south of Jim Dhamer Drive, IL 47 intersects Interstate 90 (I-90) at a full-access, partial cloverleaf interchange.

2.2. Existing Street Characteristics

Field data collection was performed along the primary study roadways of IL 47, Del Webb Boulevard/Oak Creek Parkway, Jim Dhamer Drive/Freeman Road, the Interstate 90 westbound interchange ramp, Quality Drive, two Hiwin Access driveways, and George Bush Court. Descriptions of these roadways are provided below.

IL 47 is a north-south multi-lane divided roadway that is designated as an SRA by the Chicago Metropolitan Agency for Planning (CMAP). The SRA system is designed to promote throughput on regionally significant corridors with the use of such strategies as access management and limited signalization. At its signalized intersection with Del Webb Boulevard and Oak Creek Parkway, IL 47 provides a dedicated left-turn lane, two dedicated through lanes, and a dedicated right-turn lane on both its north and southbound approaches. At its signalized intersection with Jim Dhamer Drive and Freeman Road, IL 47 provides dual left-turn lanes, three dedicated through lanes, and a dedicated right-turn lane on its southbound approach. On the northbound approach, dual left-turn lanes, four dedicated through lanes, and a dedicated right-turn lane are provided. At its signalized intersection with the I-90 West ramp junction, IL 47 provides two dedicated through lanes and a dedicated right-turn lane on its southbound approach, and dual left-turn lanes and two dedicated through lanes on its northbound approach. A 45 MPH speed limit sign is posted on IL 47, which is under IDOT jurisdiction.

Jim Dhamer Drive is an east-west Local Road that intersects IL 47 opposite Freeman Road. Immediately west of IL 47, Jim Dhamer Drive provides a five-lane divided cross-section with a landscaped barrier median providing space for left-turn lanes at intersections. Approximately 900 feet west of George Bush Court, Jim Dhamer Drive narrows to provide a three-lane section with a shared two-way left-turn lane. At its signalized intersection with IL 47, Jim Dhamer Drive provides dual left-turn lanes, two dedicated through lanes, and a dedicated right-turn lane on its eastbound approach. At its minor-leg stop-controlled intersections with Quality Drive, both Hiwin Access Driveways, and George Bush Court, Jim Dhamer Drive provides a dedicated left-turn lane and two dedicated through lanes on its westbound approaches, and a dedicated through lane and a shared through/right-turn lane on its eastbound approaches. Jim Dhamer Drive has a posted speed limit of 35 MPH and is under the jurisdiction of the Village of Huntley.

Del Webb Boulevard is an east-west, four-lane Major Collector that terminates at IL 47 approximately 3,000 feet north of Jim Dhamer Drive's intersection with IL 47, forming the west leg of the intersection. To the west of IL 47, Del Webb Boulevard provides access to the residential community Sun City. At its signalized intersection with IL 47, Del Webb Boulevard provides a dedicated left-turn lane, a dedicated through lane, and a dedicated right-turn lane, plus two receiving lanes on its eastbound approach. A 35 MPH speed limit is posted, and Del Webb Boulevard is under the jurisdiction of the Village of Huntley.

Oak Creek Parkway is an east-west, two-lane Local Road that terminates at IL 47, aligning opposite Del Webb Boulevard. Oak Creek Parkway extends approximately 1,300 feet to the east of IL 47, providing access to several commercial developments and a Weber Grill warehousing facility. At its signalized intersection with IL 47, Oak Creek Parkway provides a dedicated left-turn lane, a shared through/right-turn lane, and a single receiving lane on its westbound approach. A 30 MPH speed limit is posted on Oak Creek Parkway, which is under the jurisdiction of the Village of Huntley.

Quality Drive is a two-lane Local Road located approximately 725 feet west of IL 47 providing access to two medical office buildings south of Jim Dhamer Drive. At its unsignalized T intersection with Jim Dhamer Drive, the northbound approach of Quality Drive provides a single shared left/right-turn lane and operates under minor-leg stop control. A 30 MPH speed limit is posted on Quality Drive, which is under the jurisdiction of the Village of Huntley.

Access to a Hiwin Corporation facility is provided south of Jim Dhamer Drive by two private access driveways labeled from east to west as **Hiwin Access 1** and **Hiwin Access 2** for the purposes of this study. The east and west driveways are located approximately 1,270 and 1,940 feet west of Quality Drive, respectively. At their minor-leg stop-controlled T intersections with Jim Dhamer Drive, each access driveway provides a single shared left/right-turn lane on its northbound approach. A 30 MPH speed limit was assumed on each driveway to match Quality Drive.

George Bush Court is a two-lane Local Road located approximately 680 feet west of Hiwin Access 2 providing access to two industrial-office buildings south of Jim Dhamer Drive. At its unsignalized T intersection with Jim Dhamer Drive, the northbound approach of George Bush Court provides a single shared left/right-turn lane and operates under minor-leg stop control. To match Quality Drive, a 30 MPH speed limit was assumed on George Bush Court, which is under the jurisdiction of the Village of Huntley.

2.3. Baseline Traffic Volumes

Sam Schwartz conducted intersection turning movement counts (TMCs) in March 2022 at the following locations in order to identify existing traffic volumes:

- Illinois Route 47 and Oak Creek Parkway/Del Webb Boulevard
- Illinois Route 47 and Jim Dhamer Drive/Freeman Road
- Illinois Route 47 and I-90 westbound ramp junction
- Jim Dhamer Drive and Quality Drive
- Jim Dhamer Drive and Hiwin Access 1
- Jim Dhamer Drive and Hiwin Access 2
- Jim Dhamer Drive and George Bush Court

Counts were performed during the weekday morning and weekday evening peak periods (6:00-9:00AM, 3:00-6:00PM, respectively) to coincide with peak activity on the area roadway network. Based on the resulting count data, peak hours occurred from 7:00-8:00AM and from 3:00-4:00PM during the weekday morning and weekday evening peak periods, respectively. Based on these counts, it can be seen that the study area shows a general commuter pattern on IL 47, with heavier southbound travel (toward I-90) in the morning peak hour and heavier northbound travel (from I-90) in the evening peak hour. It should be noted that during data collection, construction of the Project Pumpkin/Project Pie site to the east of IL 47 on the north side of Freeman Road was underway. As such, these baseline volumes likely include construction traffic related to the site that would not be expected to be present after completion of the project. To provide a conservative analysis, no reductions were applied to baseline volumes to account for construction traffic.

To supplement these peak period counts and account for the current COVID-19 pandemic, Sam Schwartz obtained historical Average Daily Traffic (ADT) data on Del Webb Boulevard, Jim Dhamer Drive, Freeman Road, and IL 47 from the IDOT website for the most recent reporting years (2018-2019). Sam Schwartz sorted the historical data by hour and selected the peak hour bidirectional traffic volumes during both the weekday morning and evening peak hours (7:00-8:00 AM and 3:00-4:00 PM). These volumes were compared to the hourly volumes used for this study during the morning and evening peak hours. The compiled volumes are summarized below in **Table 1**.

Table 1. Bidirectional Traffic Volume Comparison

| Roadway | Peak Hour | Field- Collected Bidirectional Traffic Volume [A] ¹ | Historical Bidirectional Traffic Volume [B] ² | Variation $\frac{[A] - [B]}{[A]} \times 100$ | Growth Factor |
|--------------------|-----------|----------------------------------------------------------------------------|-------------------------------------------------------------------|-------------------------------------------------|------------------|
| Jim Dhamer Drive | AM | 252 | 152 | +39.68% | 0.60 |
| | PM | 228 | 182 | +20.18% | 0.80 |
| Freeman Road | AM | 411 | 292 | +28.95% | 0.71 |
| | PM | 651 | 379 | +41.78% | 0.58 |
| IL 47 | AM | 2,222 | 2,707 | -21.83% | 1.22 |
| | PM | 2,469 | 2,346 | +4.98% | 0.95 |
| Del Webb Boulevard | AM | 302 | 308 | -1.99% | 1.02 |
| | PM | 511 | 671 | -31.31% | 1.31 |

¹ Represents Sam Schwartz Bidirectional Volumes, March 2022.

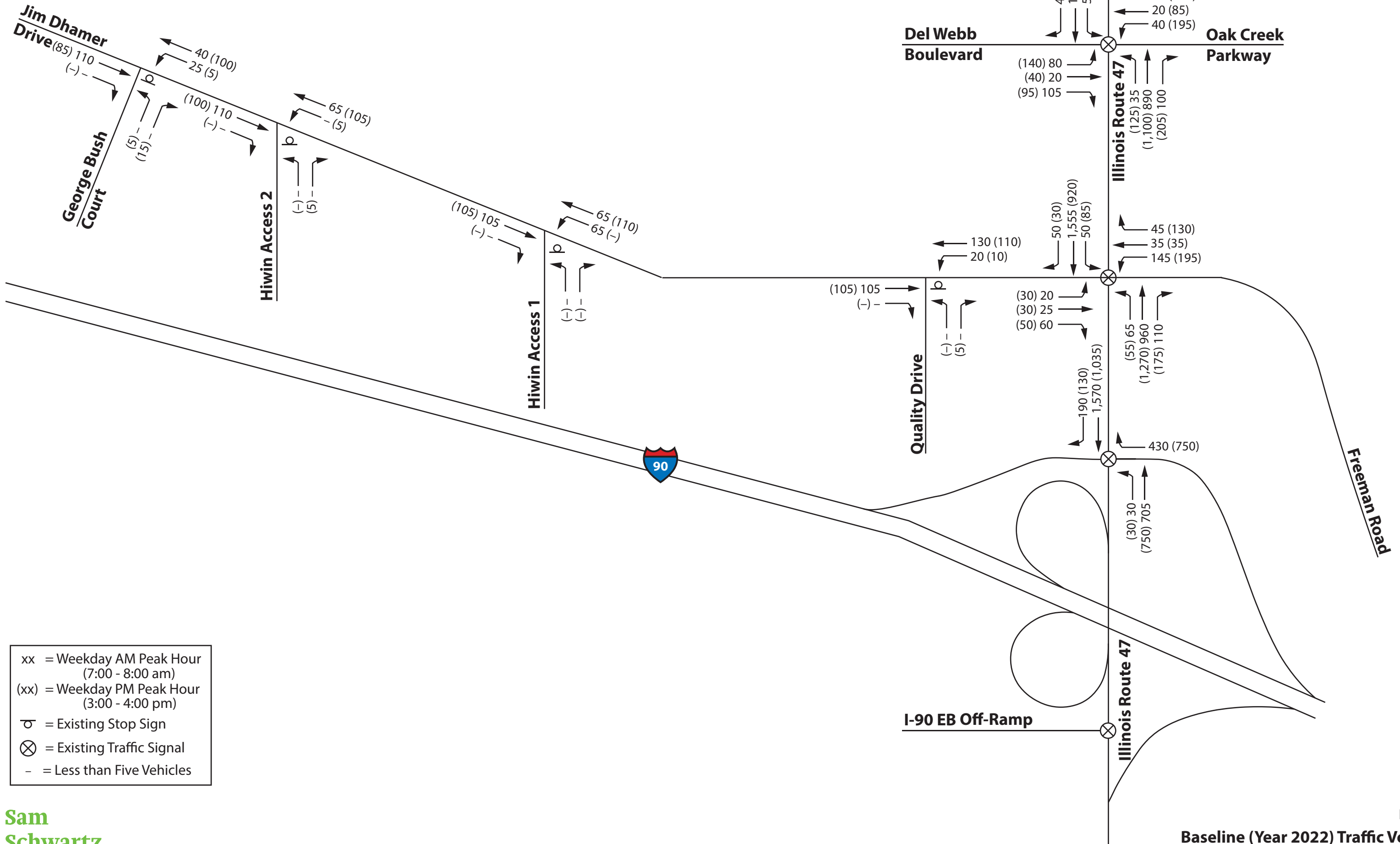
² Represents IDOT Bidirectional Volume. ADT for IL 47 was collected in 2019. All others were collected in 2018.

As shown in **Table 1**, 2022 volumes on the analyzed roadways were found to range from approximately 22 percent lower to 42 percent higher than the historical 2018 and 2019 counts during the morning and evening peak periods. A unique COVID-19 adjustment factor was calculated for each roadway in each weekday peak hour of analysis. Where historical traffic was higher than 2022 counts, volumes were increased by the factor shown in Table 1. On roadways where the adjustment factor would have represented a reduction in volume, no adjustment was applied.

The volume network was then balanced where applicable throughout the study area, establishing a baseline Year 2022 volume network. The resulting traffic volumes for Baseline Year 2022 during the weekday morning and weekday evening peak hours are illustrated on **Figure 2**. Summaries of the raw, unadjusted TMC counts and historical IDOT ADT are contained in the Appendix.



Not to Scale



- xx = Weekday AM Peak Hour (7:00 - 8:00 am)
- (xx) = Weekday PM Peak Hour (3:00 - 4:00 pm)
- ⊖ = Existing Stop Sign
- ⊗ = Existing Traffic Signal
- = Less than Five Vehicles

2.4. Baseline Intersection Operations

The operational effectiveness of transportation facilities is measured in terms of Level of Service (LOS). LOS ranges from LOS A to LOS F, with LOS A being the best level of operation for an intersection and LOS F being the worst. LOS A represents free-flow conditions where motorists experience a high level of comfort and convenience. LOS E represents saturated or at-capacity conditions, and LOS F represents oversaturated conditions. During peak periods, it is not uncommon for heavily traveled suburban arterials roadways to operate at LOS E or LOS F due to a combination of heavy demand and physical constraints.

LOS at a signalized intersection is defined in terms of average control delay (measured in seconds per vehicle), which is portion of total delay experienced by a motorist that is attributable to the traffic signal. LOS A describes operations with minimal delays (up to 10 seconds per vehicle), while LOS F describes operations with delays in excess of 80 seconds per vehicle. At intersections with long cycle lengths, the quantity of red time that is allocated to an approach or movement may near or exceed that 80-second threshold, increasing the likelihood of poor LOS. The LOS criteria for signalized intersections, as defined in the Highway Capacity Manual, Sixth Edition (HCM), are provided in **Table 2**.

Table 2. LOS Criteria for Signalized Intersections

| Level of Service (LOS) | Average Delay |
|------------------------|---------------------------|
| A | ≤ 10.0 seconds |
| B | > 10.0 and ≤ 20.0 seconds |
| C | > 20.0 and ≤ 35.0 seconds |
| D | > 35.0 and ≤ 55.0 seconds |
| E | > 55.0 and ≤ 80.0 seconds |
| F | > 80.0 seconds |

Transportation Research Board. Highway Capacity Manual, Sixth Edition.

For unsignalized intersections, total delay is defined as the total elapsed time from the moment a vehicle stops at the back of the queue until the vehicle departs from the stop bar on the stop-sign-controlled approach. This includes the time required for the vehicle to travel from the last-in-queue to the first-in-queue position. The LOS thresholds for unsignalized intersections, which differ from those for signalized intersections, are summarized below in **Table 3**.

Table 3. LOS Criteria for Unsignalized Intersections

| Level of Service (LOS) ¹ | Average Delay |
|-------------------------------------|---------------------------|
| A | ≤ 10.0 seconds |
| B | > 10.0 and ≤ 15.0 seconds |
| C | > 15.0 and ≤ 25.0 seconds |
| D | > 25.0 and ≤ 35.0 seconds |
| E | > 35.0 and ≤ 50.0 seconds |
| F | > 50.0 seconds |

Transportation Research Board. Highway Capacity Manual, Sixth Edition.

¹LOS grades assume volume-to-capacity (v/c) ratio <1; LOS F is triggered when v/c ≥1

Capacity analysis was performed to analyze the study intersections for the weekday peak hours using Synchro 11 capacity analysis software. An HCM 2000 report was used to evaluate the intersection of IL 47 with the I-90 westbound ramp junction due to its nonstandard phasing. For all other intersections, HCM 6th Edition reports were used. The results of these analyses are summarized below in **Table 4**.

Table 4. Baseline (Year 2022) Levels of Service

| Intersection | Weekday Morning Peak Hour | | Weekday Evening Peak Hour | |
|-------------------------------------------------------------|---------------------------|----------|---------------------------|----------|
| | Delay (sec/veh) | LOS | Delay (sec/veh) | LOS |
| IL 47 / Del Webb Boulevard & Oak Creek Parkway ¹ | | | | |
| Eastbound | 51.3 | D | 43.1 | D |
| Westbound | 55.5 | E | 62.9 | E |
| Northbound | 12.2 | B | 33.3 | C |
| Southbound | 14.0 | B | 30.0 | C |
| <i>Intersection</i> | <i>17.3</i> | <i>B</i> | <i>37.6</i> | <i>D</i> |
| IL 47 / Jim Dhamer Drive & Freeman Road ¹ | | | | |
| Eastbound | 56.7 | E | 57.0 | E |
| Westbound | 55.0 | D | 55.6 | E |
| Northbound | 3.6 | A | 26.5 | C |
| Southbound | 13.1 | B | 14.4 | B |
| <i>Intersection</i> | <i>14.1</i> | <i>B</i> | <i>27.0</i> | <i>C</i> |
| IL 47 / I-90 WB ramp junction ¹ | | | | |
| Westbound | 53.9 | D | 39.4 | D |
| Northbound | 8.5 | A | 15.2 | B |
| Southbound | 1.0 | A | 3.7 | A |
| <i>Intersection</i> | <i>10.7</i> | <i>B</i> | <i>17.0</i> | <i>B</i> |
| Jim Dhamer Drive / Quality Drive ² | | | | |
| Westbound (Left) | 7.6 | A | 7.5 | A |
| Northbound | 9.7 | A | 8.8 | A |
| Jim Dhamer Drive / Hiwin Access 1 ² | | | | |
| Westbound (Left) | 7.7 | A | 7.4 | A |
| Northbound | 10.3 | B | 9.1 | A |
| Jim Dhamer Drive / Hiwin Access 2 ² | | | | |
| Westbound (Left) | 7.4 | A | 8.7 | A |
| Northbound | 9.7 | A | 9.8 | A |
| Jim Dhamer Drive / George Bush Court ² | | | | |
| Westbound (Left) | 7.5 | A | 8.2 | A |
| Northbound | 9.0 | A | 9.1 | A |

¹Signalized Intersection

²Two-Way Stop-Controlled Intersection

As shown, most intersection approaches in the study area currently operate at acceptable LOS D or better. At the intersection of IL 47 with Oak Creek Parkway, the westbound approach operates at LOS E during both the morning and evening peak hours. Similarly, the eastbound approach of Jim Dhamer Drive at IL 47 operates at LOS E during both peak hours, and the westbound approach of Freeman Road operates at LOS E during the evening peak hour. In each of these cases, it can be noted that, according to Synchro 11 results, these delays are entirely attributable to control delay, and therefore are likely due to the long cycle lengths in place at these intersections (120 seconds during each peak hour). These intersections are part of an interconnected system along the state route of IL 47 that is optimized to favor the northbound and southbound through movements. On the eastbound approach of Jim Dhamer Drive, all 95th percentile queues are within provided storage lengths.

03. Future Conditions

In order to evaluate future intersection operations, traffic volumes were forecasted for a “Build plus five” design year based on IDOT standards. Based on conversations with the development team indicating that the proposed development would be completed by Year 2023, a Year 2028 design year was selected. Future traffic forecasting was based on three main factors: background traffic growth, background developments, and trips generated by the proposed development. Based on the resulting projections, capacity analyses were prepared to evaluate future operational conditions with and without completion of the proposed development. The findings and resulting recommendations are discussed in this section of the report.

3.1. Approved Area Development

Based on communication with the Village of Huntley, several background developments with approved traffic studies were taken into account for this study. Sam Schwartz incorporated the following background developments into the future scenarios:

- **The Huntley Commercial Center** is a proposed industrial and commercial redevelopment of the currently vacant Huntley Premium Outlots site south of Freeman Road.
- **Project Pumpkin/Pie** the approved industrial developments currently under construction north of Freeman Road and east of IL 47.
- **The Weber Industrial Expansion** is an expansion of the existing Weber facility located south of Freeman Road and east of the Huntley Commercial Center.

The TIS for the Huntley Commercial Center redevelopment, performed by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA), was submitted in 2018 and is excerpted in the Appendix. The proposed site calls for a total of approximately 667,880 square feet of warehouse/industrial space in three separate buildings. An additional 45,145 square feet of retail space was also assumed to occupy the adjacent parcel to the west. All site-related traffic outlined in the Huntley Commercial Center report was assumed to access the site via Freeman Road and added to the No-Build condition.

The TIS for the Project Pumpkin/Pie development performed by Sam Schwartz and approved in 2021 is also excerpted in the Appendix. The proposed development plan includes two buildings: an approximately 650,000 square-foot industrial building that will operate as a receive center on the south portion of the site (Project Pumpkin), and an approximately 1,160,000 square-foot industrial building on the north portion of the site (Project Pie). All site-related traffic outlined in the Sam Schwartz report was added to the No-Build condition via Freeman Road. It should be noted that the Project Pumpkin/Pie study contemplates only the peak hours corresponding with projected site traffic (6:00-7:00AM and 5:30-6:30PM), and not the peak hour of adjacent street. As such, overlaying the peak site traffic on the peak hours of adjacent street identified in this study represents a conservative approach.

The TIS for the Weber Industrial Expansion performed by Sam Schwartz and approved in 2022 is also excerpted in the Appendix. The site is currently occupied by an existing Weber Stephens industrial facility and the remainder of the site is otherwise undeveloped. The site will be developed to provide a mix of industrial and office uses, including a 405,600 square-foot industrial addition to the existing Weber Facility, approximately 237,880 square feet of new industrial space, and 40,000 square feet of office use. All site-related traffic outlined in the TIS was assumed to access the site via Freeman Road and added to the No-Build condition.

3.2. Area Roadway Plans

A review of IDOT's *Proposed Highway Improvement Plans for FY 2022-2027* indicated no planned improvements affecting intersections in the study area. However, as detailed in the Village-approved Project Pumpkin/Project Pie and Weber traffic studies, signal timing improvements are recommended at Freeman Road's intersection with IL 47. Accordingly, these signal timing modifications were included in all future analysis scenarios based on Village support for recommendations within those traffic studies. Apart from these signal timing adjustments, Sam Schwartz did not identify and other planned background improvements in the study area, and so no further improvements were incorporated into the analysis of future conditions. Specific timing adjustments are discussed in Section 3.6 (Future Traffic Projections) of this report.

3.3. Site Development Plan

As proposed, the subject site would be developed to contain an approximately 729,600 square-foot building that would be occupied by two separate industrial tenants. Each tenant would occupy half of the proposed building, divided into east and west sections. A concept site plan depicting the proposed development is included in the Appendix, illustrating four full-access driveways to Jim Dhamer Drive. The proposed driveway configuration is described below:

- **Access 1:** A proposed full-access driveway that would align opposite Quality Drive on the north side of Jim Dhamer Drive.
- **Access 2:** A proposed full-access driveway located approximately 330 feet west of Access 1.
- **Access 3:** A proposed full-access driveway located approximately 220 feet west of Access 2.
- **Access 4:** A proposed full-access driveway located approximately 190 feet east of the westernmost Hiwin access driveway.

A fifth driveway located between Access 3 and Access 4 on the north side of Jim Dhamer Drive is under consideration for installation at some future time and is shown as an option on the concept site plan, but is not included in these analyses based on indications from the development team that this driveway ultimately may not be provided. A discussion of how this future access may be designed at its intersection with Jim Dhamer Drive, if constructed, is therefore provided for future reference.

3.4. Trip Generation

Based on discussions with the development team, as well as the size and other characteristics of the building, it is anticipated that the industrial building would be utilized as a high-cube distribution facility. Site-generated trips were therefore projected for a High-Cube Transload and Short-Term Storage Warehouse use referencing the Institute of Transportation Engineers (ITE) manual Trip Generation, 11th Edition. The corresponding trip generation rates and equations used from Trip Generation are shown in **Table 5**.

Table 5. ITE Trip Generation Data

| Land Use | Vehicle Type | Daily | Weekday AM Peak | Weekday PM Peak |
|----------------------------------------------------------------|---------------------|---------------------------------|---------------------------------|---------------------------------|
| High-Cube Transload and Short-Term Storage Warehouse (LUC 154) | Total Vehicle Trips | T = 1.40(X) 50% in / 50% out | T = 0.08(X) 77% in / 23% out | T = 0.10(X) 28% in / 72% out |
| | Truck Trips | T = 0.22(X) 50% in / 50% out | T = 0.02(X) 49% in / 51% out | T = 0.01(X) 47% in / 53% out |

T = Trips Generated
 X = Project size in 1,000 square feet

Total vehicle and truck trips were calculated using the above equations. Truck trips were then deducted from the total vehicle trips to obtain passenger car trips. **Table 6** summarizes the anticipated incoming and outgoing trips associated with the proposed use during the weekday morning and weekday evening peak hours. Trip projections were rounded to the nearest multiple of five for the purposes of this study.

Table 6. Trip Generation Estimates

| Land Use | Size | Vehicle Type | Weekday Daily | Weekday AM Peak | | | Weekday PM Peak | | |
|----------------------------------------------------------------|-----------------|--------------|---------------|-----------------|-----------|-----------|-----------------|-----------|-----------|
| | | | | IN | OUT | TOTAL | IN | OUT | TOTAL |
| High-Cube Transload and Short-Term Storage Warehouse (LUC 154) | 729,600 sq. ft. | Cars | 860 | 40 | 5 | 45 | 15 | 50 | 65 |
| | | Trucks | 160 | 5 | 10 | 15 | 5 | 5 | 10 |
| | | Total | 1,020 | 45 | 15 | 60 | 20 | 55 | 75 |

3.5. Site Trip Assignment

The directional distribution of site-generated traffic is a function of several variables, including existing travel patterns, characteristics of the area street network and traffic control, and peak hour congestion within the study area. The assumed trip distribution percentages are a best estimate using engineering judgment, familiarity with the area, and logical travel paths to likely origins and destinations for site users. The anticipated directional distribution for passenger cars and trucks to and from the site are shown on **Figure 3** and **Figure 4**, respectively. It should be noted that based on the limited connectivity of Jim Dhamer Drive to the west, all site-generated traffic was assumed to travel via IL 47 and Freeman Road to the east.

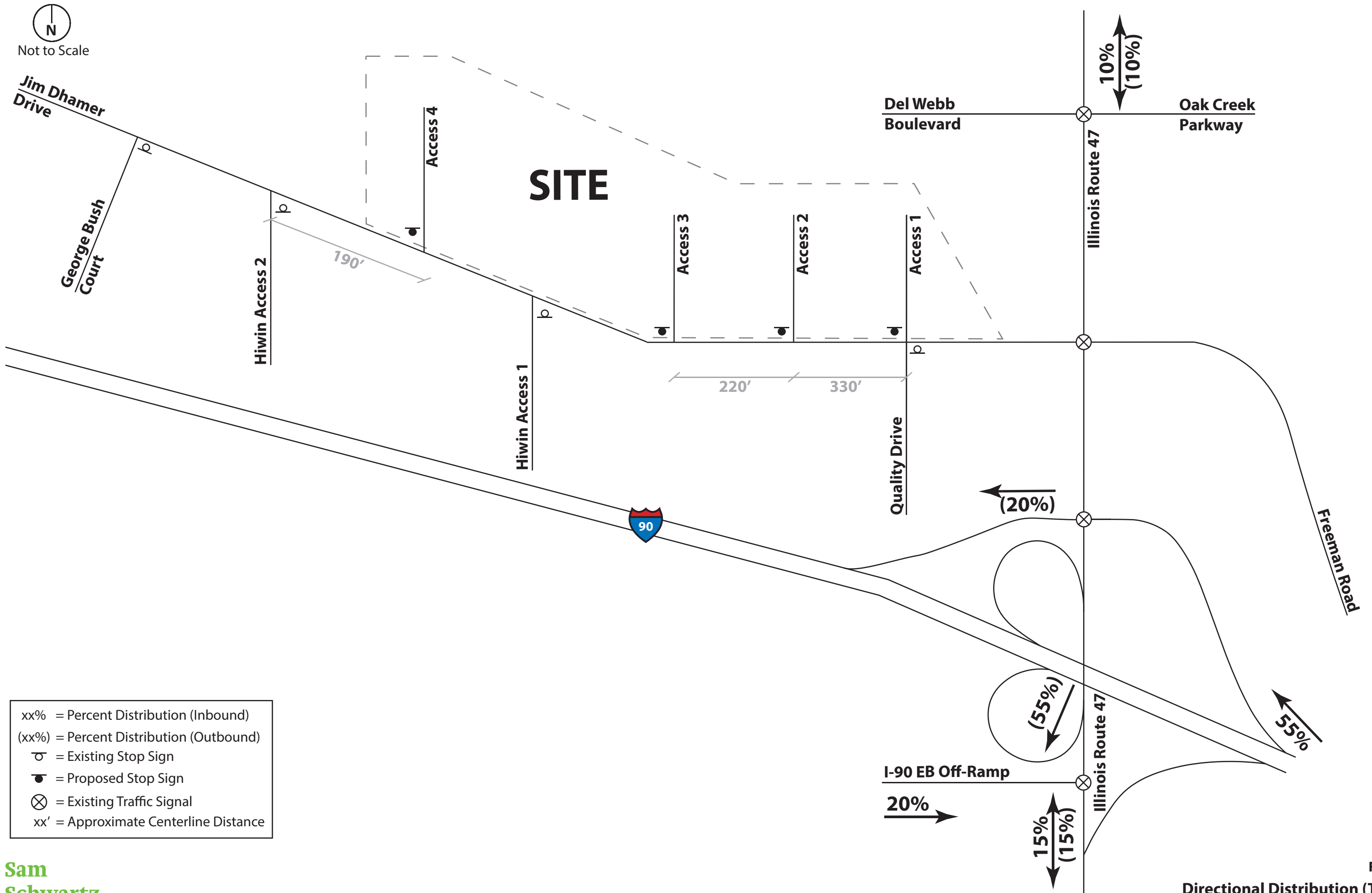


Not to Scale





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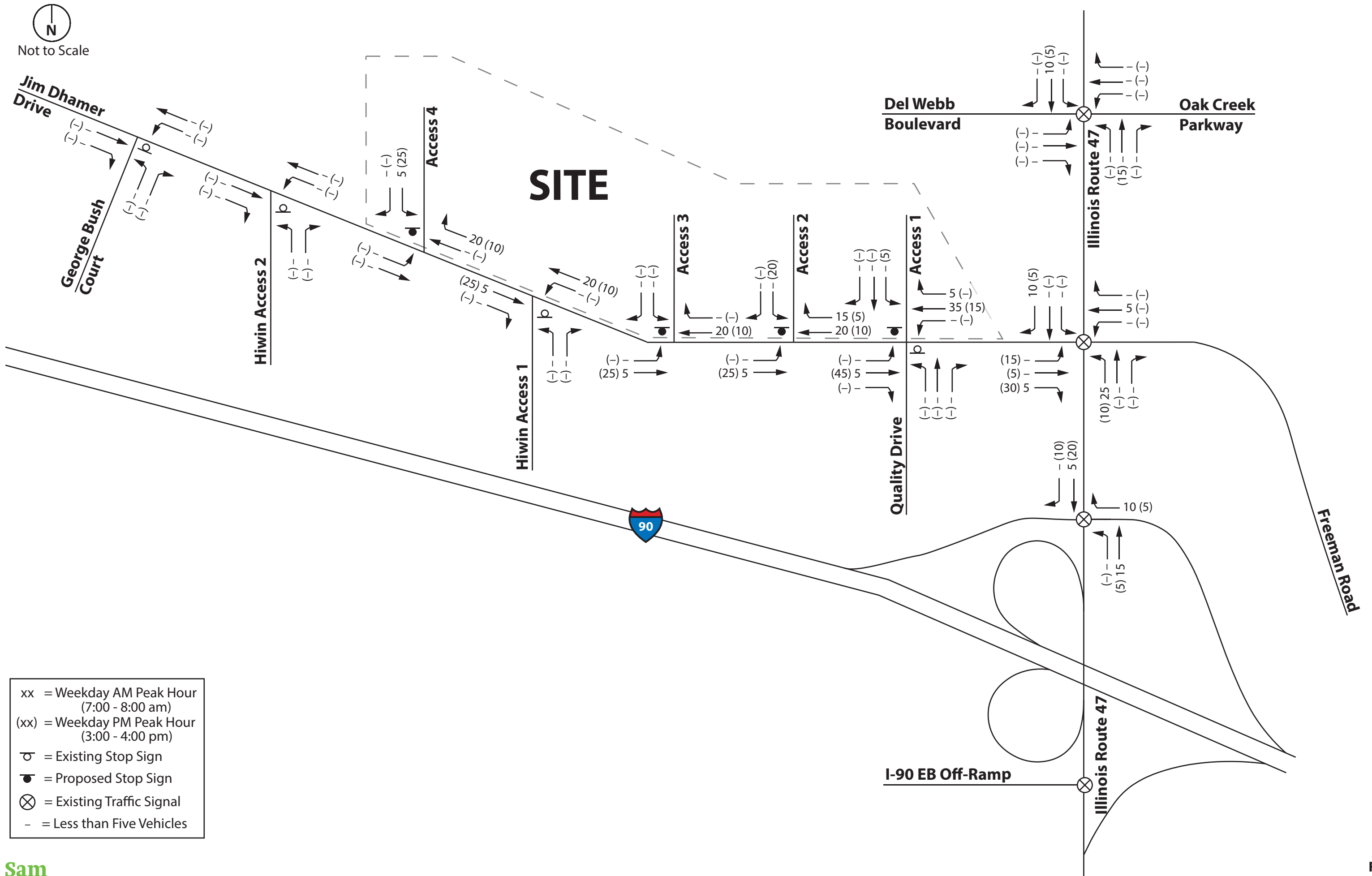


Based on discussions with the development team, the proposed building is expected to accommodate two separate end-users, with each tenant occupying one half of the building. It is anticipated that the building would be split into east and west portions, with cross access between the two sides prohibited through gates or barriers. Based on these assumptions, Sam Schwartz assumed that site-related traffic would be split evenly between the east and west portions of the proposed site. As shown on the site plan, the eastern half of the building would be served by Access 1, Access 2, and Access 3. Passenger cars associated with the east half of the building were assumed to primarily use Access 2 (80 percent) based on its proximity to convenient parking near the office space, while the remaining 20 percent were assumed to utilize Access 1. Truck traffic was evenly split between Access 1 and Access 3, assuming equal utilization of the north and south truck docking spaces. All inbound traffic associated with the western half of the site was assumed to utilize Access 4, the only access point for the western half of the site.

Using the distributions and routing patterns described above, site-generated trips were assigned to the study intersections. The resulting peak hour trip assignments for site-related passenger car and truck traffic are illustrated on **Figure 5** and **Figure 6**, respectively.

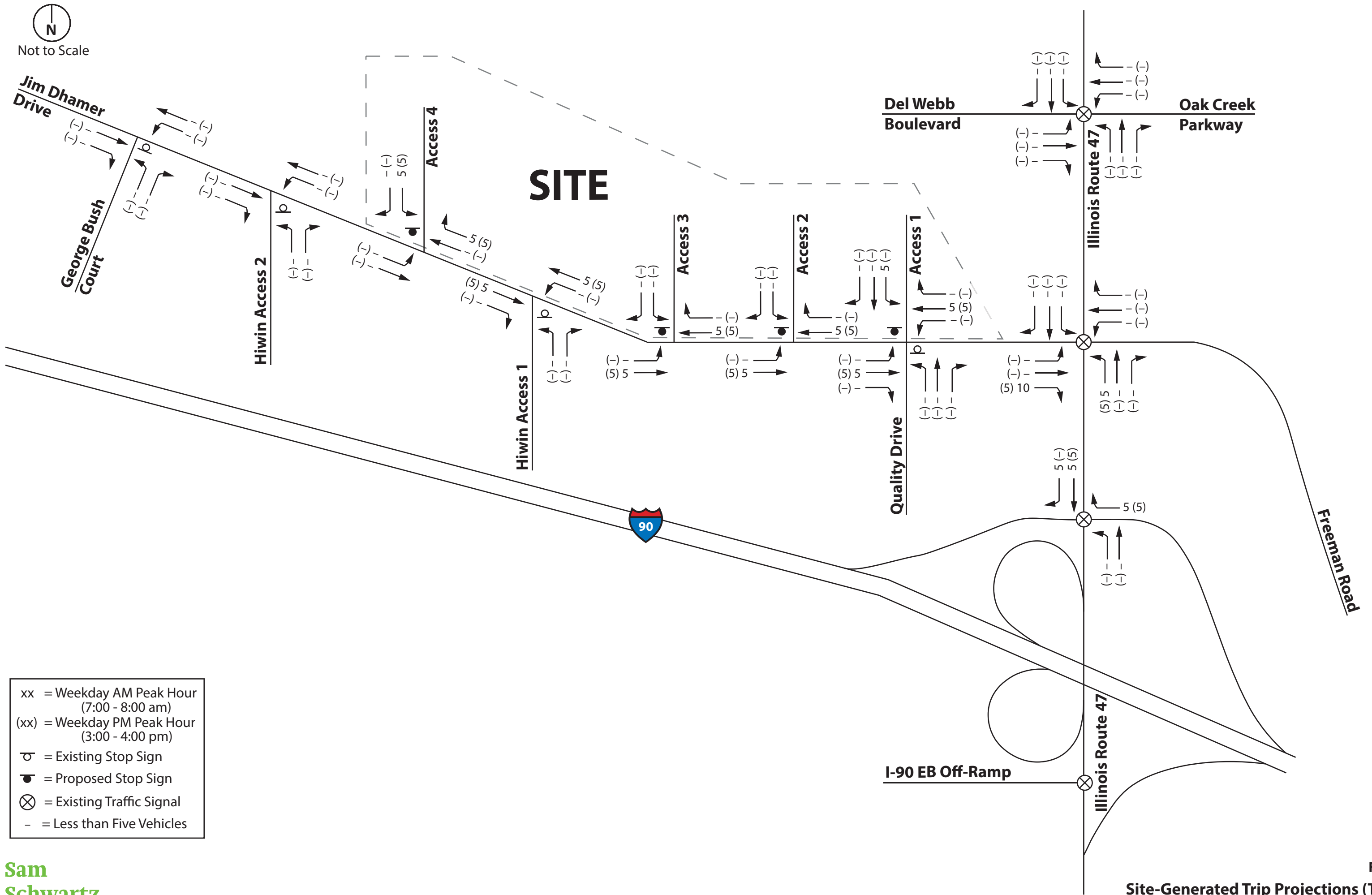


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3.6. Future Traffic Projections

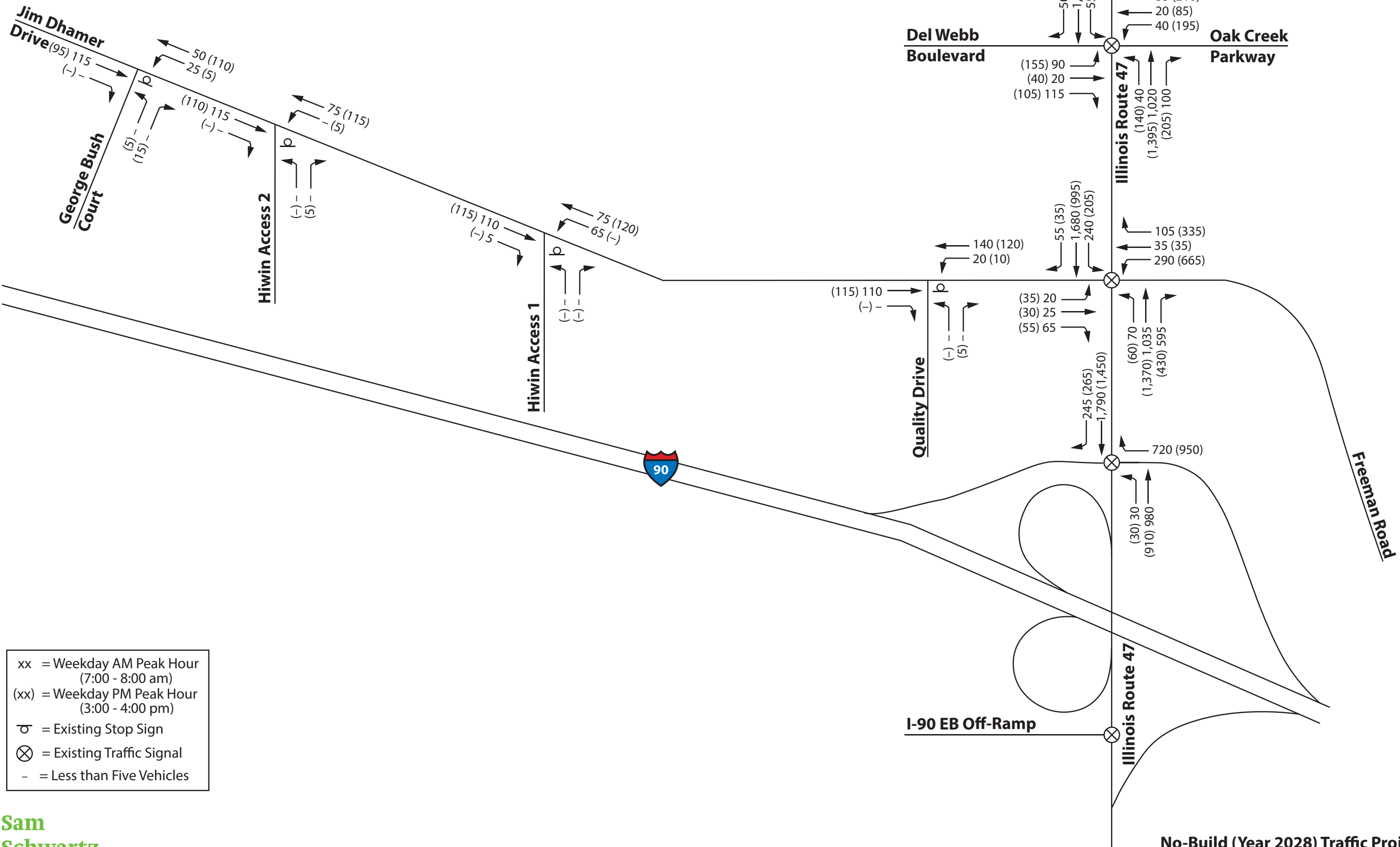
Future analysis was performed for Year 2028, reflecting Build-plus-five conditions given the proposed site's anticipated full buildout in Year 2023. In order to estimate future background traffic for the Year 2028 design horizon, Year 2050 ADT projections were obtained from CMAP for the major study roadways. Based on the projections provided, compounded annual growth rates were derived for each roadway, as summarized below:

- Jim Dhamer Drive: 1.80%
- Freeman Road: 1.80%
- Del Webb Boulevard: 1.80%
- IL 47: 1.30%

The above growth rates were applied to baseline (2022) traffic volumes on Jim Dhamer Drive, Del Webb Boulevard, and IL 47. Growth rates were not applied to Oak Creek Parkway, Quality Drive, either Hiwin driveway, or George Bush Court, based on the assumption that all associated developments are fully built out. No background growth was applied to Freeman Road. Instead, traffic volumes associated with three background developments described in Section 3.1 (Approved Area Development) were added to the study network, including the Huntley Commercial Center, Project Pumpkin/Pie, and the Weber Expansion. The resulting volumes were balanced across the study area and added to baseline volumes to yield Year 2028 Future No-Build traffic projections, illustrated on **Figure 7**. Site-generated trips were then added to the No-Build condition, resulting in the Year 2028 Future Build traffic projections shown on **Figure 8**.



Not to Scale





Not to Scale



- xx = Weekday AM Peak Hour (7:00 - 8:00 am)
- (xx) = Weekday PM Peak Hour (3:00 - 4:00 pm)
- ⊖ = Existing Stop Sign
- = Proposed Stop Sign
- ⊗ = Existing Traffic Signal
- = Less than Five Vehicles

3.7. Future Intersection Operations

Capacity analyses were conducted using Synchro 11 software to assess future traffic operations during the weekday morning and weekday evening peak hours for the Future No-Build and Build conditions. The results of these analyses are detailed in the following sections.

Future No-Build Conditions

To assess the impact of background traffic on operations within the study area, capacity analyses were performed for the Year 2028 No-Build conditions. As noted previously, three background developments were assumed to be completed prior to the 2028 design horizon. In general, the improvements recommended and/or approved for these projects are limited to Freeman Road east of the study area. As a part of the Project Pumpkin/Pie development, signal timing adjustments to the intersection of IL 47 with Freeman Road/Jim Dhamer Drive were recommended to be coordinated with IDOT, involving an increase in protected green time for westbound movements and the corresponding reduction in green time for eastbound movements during both peak hours. These adjustments were incorporated into all future analysis scenarios. Apart from these anticipated improvements, no other geometric or signal-timing changes were assumed for the future No-Build scenario. Based on these assumptions, area traffic operations for this scenario are projected as shown below in **Table 7**.

Table 7. No-Build (Year 2028) Levels of Service

| Intersection | Weekday Morning Peak Hour | | Weekday Evening Peak Hour | |
|-------------------------------------------------------------|---------------------------|-----|---------------------------|-----|
| | Delay (sec/veh) | LOS | Delay (sec/veh) | LOS |
| IL 47 / Del Webb Boulevard & Oak Creek Parkway ¹ | | | | |
| Eastbound | 50.7 | D | 46.2 | D |
| Westbound | 55.5 | E | 62.9 | E |
| Northbound | 13.1 | B | 43.5 | D |
| Southbound | 17.4 | B | 31.5 | C |
| <i>Intersection</i> | 19.2 | B | 42.3 | D |
| IL 47 / Jim Dhamer Drive & Freeman Road ¹ | | | | |
| Eastbound | 56.9 | E | 57.2 | E |
| Westbound | 56.6 | E | 84.0 | F |
| Northbound | 3.4 | A | 33.7 | C |
| Southbound | 22.5 | C | 25.3 | C |
| <i>Intersection</i> | 19.2 | B | 44.2 | D |
| IL 47 / I-90 WB ramp junction ¹ | | | | |
| Westbound | 118.9 | F | 33.5 | C |
| Northbound | 10.6 | B | 21.8 | C |
| Southbound | 1.7 | A | 3.3 | A |
| <i>Intersection</i> | 26.5 | C | 16.0 | B |
| Jim Dhamer Drive / Quality Drive ² | | | | |
| Westbound (Left) | 7.6 | A | 7.5 | A |
| Northbound | 9.8 | A | 8.9 | A |
| Jim Dhamer Drive / Hiwin Access 1 ² | | | | |
| Westbound (Left) | 7.8 | A | 7.4 | A |
| Northbound | 10.4 | B | 9.1 | A |
| Jim Dhamer Drive / Hiwin Access 2 ² | | | | |
| Westbound (Left) | 7.5 | A | 8.8 | A |
| Northbound | 9.7 | A | 9.9 | A |
| Jim Dhamer Drive / George Bush Court ² | | | | |
| Westbound (Left) | 7.5 | A | 8.3 | A |
| Northbound | 9.1 | A | 9.1 | A |

¹Signalized Intersection

²Two-Way Stop-Controlled Intersection

As shown, the majority of intersection approaches are expected to operate at the same LOS under Future No-Build conditions as they do under existing conditions. However, some approaches are expected to decrease in LOS with the addition of background growth and other planned developments. At the I-90 westbound off-ramp junction, the westbound approach is projected to drop from LOS D to LOS F in the morning peak hour. It should be noted that this approach was analyzed assuming no right-turn movements during red phases, per IDOT standards. This represents a conservative analysis, as right turns are permitted on red phases from the outside lane.

At the intersection of IL 47 with Freeman Road/Jim Dhamer Drive, the westbound approach is projected to drop from LOS D to LOS E in the morning peak hour, and from LOS E to LOS F in the evening peak

hour, despite the inclusion of Village-supported signal timing modifications at this intersection. The eastbound approach of Jim Dhamer at this intersection is still projected to operate at LOS E during both peak hours. As in the baseline condition, 95th percentile queues on this approach are expected to be accommodated within available storage.

Future Build Conditions

To assess the impact of the proposed site on traffic operations within the study area, capacity analyses were performed for the Year 2028 Build conditions. The Build condition includes the same background improvements listed as a part of the No-Build condition, as well as several improvement measures identified to accommodate site traffic.

Access 1, Access 2, Access 3, and Access 4 should each provide a single southbound approach lane with shared movements and one receiving lane. Each access was assumed to operate under minor-leg stop control.

Jim Dhamer Drive currently provides a five-lane cross section: two lanes of travel in each direction and a center curbed median with breaks allowing for left-turn bays at intersections. Per the IDOT Bureau of Design and Environment Manual (BDE), left-turn lanes on a roadway of Jim Dhamer Drive's design speed should provide 145 feet of storage with 175 feet of taper. However, intersections near Access 1, Access 2, and Access 4 are too closely spaced to accommodate these full dimensions for new inbound left-turn lanes along Jim Dhamer Drive. Based on coordination with the development team, it is Sam Schwartz's understanding that the Village of Huntley staff has expressed preliminary support for the proposed driveway locations; the following turn-lane dimensions are therefore recommended:

- At Access 1, 145 feet of storage (as recommended per the BDE) and a taper length of approximately 105 feet extending to Access 2 should be installed.
- At Access 2, the center lane should be striped as continuous left-turn storage totaling approximately 120 feet extending to Access 3. A skip dash white line of striping should be provided at the entry to this left-turn lane for a distance of approximately 50 feet to communicate a transition into this dedicated turn lane.
- At Access 3, the BDE recommended 145 feet of storage with 175 feet of taper should be provided.

Based on an understanding that Village staff has expressed preliminary support for the location of Access 4 due to limitations of the property boundary of the site, two configurations could be provided:

- The westbound left-turn lane serving Hiwin Access 2 could be restriped to include approximately 75 feet of storage and 50 feet of taper. This length is sufficient to accommodate a single articulated truck and 95th percentile queue projections on this approach in the Build condition (less than one vehicle). The remaining space between Hiwin Access 2 and Access 4 (approximately 20 feet based on the concept site plan) could be converted to a hatched median nose. This configuration is shown on the concept site plan and included in the Build scenario.
- Alternatively, eastbound left turns into the site at Access 4 could be prohibited and the existing median between Access 3 and Access 4 could be modified to provide a channelized lane for U-Turn maneuvers. This configuration could also be positioned to be used as an inbound left-turn lane for the potential future access shown on the site plan if constructed. This would be accompanied by a No Left Turn (R3-2) sign posted for eastbound traffic on Jim Dhamer Drive at Access 4.

As noted previously, Jim Dhamer Drive has limited connectivity to the west, and so it is expected that the eastbound left-turn lanes at each site access location will have very low utilization. Based on these recommendations, a summary of the capacity results for the Year 2028 Build scenario is presented in **Table 8**.

Table 8. Build (Year 2028) Levels of Service

| Intersection | Weekday Morning Peak Hour | | Weekday Evening Peak Hour | |
|-------------------------------------------------------------|---------------------------|----------|---------------------------|----------|
| | Delay (sec/veh) | LOS | Delay (sec/veh) | LOS |
| IL 47 / Del Webb Boulevard & Oak Creek Parkway ¹ | | | | |
| Eastbound | 50.7 | D | 46.2 | D |
| Westbound | 55.5 | E | 62.9 | E |
| Northbound | 13.1 | B | 44.6 | D |
| Southbound | 17.5 | B | 31.5 | C |
| <i>Intersection</i> | <i>19.2</i> | <i>B</i> | <i>42.8</i> | <i>D</i> |
| IL 47 / Jim Dhamer Drive & Freeman Road ¹ | | | | |
| Eastbound | 57.6 | E | 59.7 | E |
| Westbound | 56.4 | E | 84.4 | F |
| Northbound | 4.2 | A | 34.0 | C |
| Southbound | 23.3 | C | 25.7 | C |
| <i>Intersection</i> | <i>20.0</i> | <i>B</i> | <i>44.7</i> | <i>D</i> |
| IL 47 / I-90 WB ramp junction ¹ | | | | |
| Westbound | 127.8 | F | 33.2 | C |
| Northbound | 10.6 | B | 22.1 | C |
| Southbound | 1.7 | A | 3.2 | A |
| <i>Intersection</i> | <i>28.4</i> | <i>C</i> | <i>16.0</i> | <i>B</i> |
| Jim Dhamer Drive / Quality Drive/Access 1 ² | | | | |
| Eastbound (Left) | 7.8 | A | 7.5 | A |
| Westbound (Left) | 7.6 | A | 7.6 | A |
| Northbound | 11.3 | B | 9.5 | A |
| Southbound | 15.2 | C | 10.5 | B |
| Jim Dhamer Drive / Access 2 ² | | | | |
| Eastbound (Left) | 7.7 | A | 7.5 | A |
| Southbound | 9.9 | A | 10.0 | B |

Table 8. Build (Year 2028) Levels of Service (continued)

| Intersection | Weekday Morning Peak Hour | | Weekday Evening Peak Hour | |
|---------------------------------------------------|---------------------------|-----|---------------------------|-----|
| | Delay (sec/veh) | LOS | Delay (sec/veh) | LOS |
| Jim Dhamer Drive / Access 3 ² | | | | |
| Eastbound (Left) | 7.7 | A | 7.5 | A |
| Southbound | 9.7 | A | 9.3 | A |
| Jim Dhamer Drive / Hiwin Access 1 ² | | | | |
| Westbound (Left) | 7.8 | A | 7.5 | A |
| Northbound | 10.6 | B | 9.3 | A |
| Jim Dhamer Drive / Access 4 ² | | | | |
| Eastbound (Left) | 7.4 | A | 7.5 | A |
| Southbound | 10.2 | B | 10.2 | B |
| Jim Dhamer Drive / Hiwin Access 2 ² | | | | |
| Westbound (Left) | 7.5 | A | 8.8 | A |
| Northbound | 9.7 | A | 9.9 | A |
| Jim Dhamer Drive / George Bush Court ² | | | | |
| Westbound (Left) | 7.5 | A | 8.3 | A |
| Northbound | 9.1 | A | 9.1 | A |

¹Signalized Intersection

²Two-Way Stop-Controlled Intersection

With the addition of site traffic, level of service under Build conditions is expected to operate similarly to No-Build conditions, with most approaches expected to operate at the same LOS. The exception is the northbound approach of Quality Drive at Jim Dhamer Drive, which is expected to drop from LOS A to LOS B during the morning peak hour.

As in the No-Build condition, several approaches are expected to operate at LOS E or F at their intersections with IL 47 during one or more peak hours, including the Oak Creek Parkway, Jim Dhamer Drive, Freeman Road, and the I-90 westbound ramp junction. Of these approaches, only the eastbound approach of Jim Dhamer Drive and the westbound ramp junction of I-90 are expected to experience an increase in volume due to the addition of site traffic. On the eastbound approach of Jim Dhamer Drive, projected 95th percentile queues are still projected to be accommodated within available storage, as they are in the Baseline and No-Build conditions. As previously outlined, the performance of the westbound approach of the I-90 off-ramp is expected to be better than projected in this analysis, due to the conservative assumption of restricting right-turns during red phases. Even with this assumption in place, the 95th percentile queues are projected to be accommodated without extending to mainline I-90.

At the site access driveways, no southbound approach is projected to operate at worse than LOS C. In addition, 95th percentile queues on these approaches are expected to be fewer than one vehicle during each peak hour analyzed.

04. Conclusion & Recommendations

Based on the analyses detailed in this report, the following recommendations were identified to accommodate site traffic within the study area.

- At each site access driveway:
 - Provide a single outbound lane with a single receiving lane.
 - Post minor-leg stop control for outbound site traffic.
- On Jim Dhamer Drive:
 - At Access 1, install a left-turn lane providing 145 feet of storage and a taper length of approximately 105 feet extending to Access 2.
 - At Access 2, stripe the center lane west of the access as continuous left-turn storage totaling approximately 120 feet extending to Access 3.
 - At Access 3, install a left-turn lane providing 145 feet of storage with 175 feet of taper.

Additionally, based on an understanding that Village staff has expressed preliminary support for the location of Access 4 due to limitations of the property boundary of the site, two configurations could be provided:

- At Hiwin Access 2, the westbound left-turn lane could be restriped to include approximately 75 feet of storage and 50 feet of taper. At Access 4, the remaining space available between Hiwin Access 2 and Access 4 could be converted into a hatched median space.
- Alternatively, eastbound left turns into the site at Access 4 could be prohibited and the existing median between Access 3 and Access 4 could be modified to provide a channelized lane for U-Turn maneuvers. This configuration could also be positioned to be used as an inbound left-turn lane for the potential future access shown on the site plan if it is to be further considered. This would be accompanied by a No Left Turn (*R3-2*) sign posted for eastbound traffic on Jim Dhamer Drive at Access 4.

With these improvements in place, it is anticipated that area traffic operation would be acceptable following completion of the subject site.

APPENDIX

Concept Site Plan

IDOT Historical Hourly Bidirectional Counts

ITE Trip Generation, 11th Edition Excerpts

2050 CMAP Traffic Projections

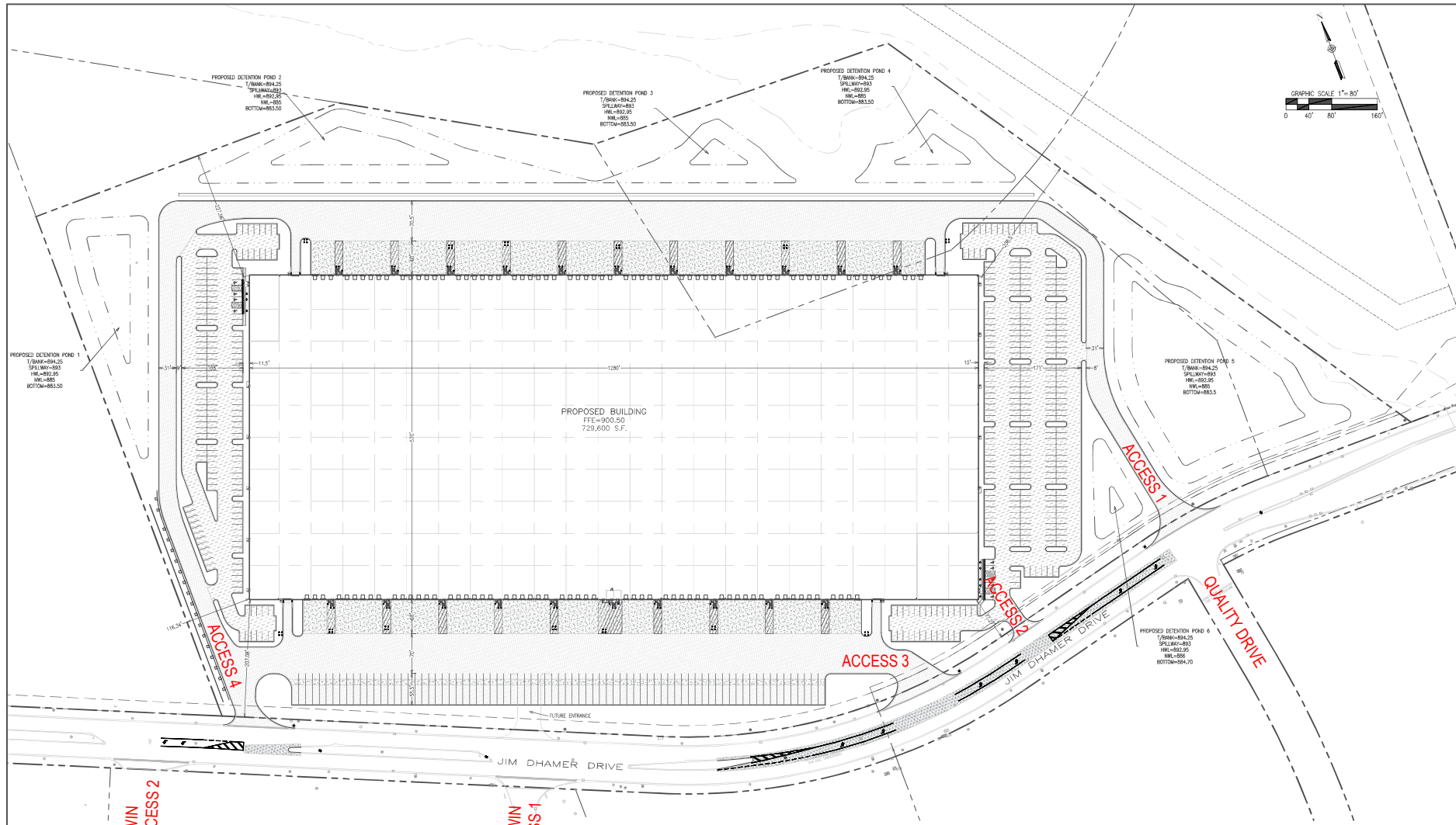
Background Development TISs

Capacity Analysis Results

Raw Traffic Data

**Sam
Schwartz**

Concept Site Plan

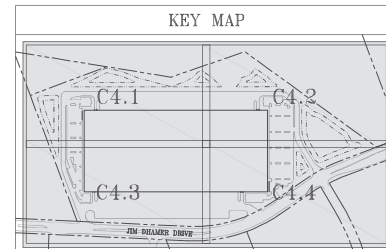


GEOMETRIC NOTES

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) INSTALL REVERSE PITCH 96.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- 3) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING:
- 4) CURB AND GUTTER DENOTED BY:
- 5) DEPRESSED CURB AND GUTTER DENOTED BY:
- 6) ALL RADI ARE 4-FT UNLESS NOTED OTHERWISE.
- 7) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.

- 10) STAIR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL EXISTING MAILBOXES TO BE REPLACED AT EACH RECONSTRUCTED DRIVEWAY.
- 12) ALL RAISED REFLECTIVE PAVEMENT MARKERS USED WITH SKIP DASHES SHALL BE CENTERED IN THE GAP BETWEEN SEGMENTS.
- 13) ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- 14) FIBER EXPANSION JOINTS OF 3/4" FULL DEPTH BIT. FIBER MATERIAL SHALL BE INSTALLED AS REFERENCED IN THE PAVEMENT LEGEND (THIS SHEET) AND WHERE CONCRETE ABRIS ALL CURB, BUILDING, POLES OR OTHER STRUCTURES.
- 15) CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH ACI 309 GUIDE (LATEST EDITION) FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.

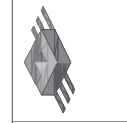
KEY MAP



| No. | Description | Date |
|-----|-------------|----------|
| 1 | DRAFT PLOT | 03/30/22 |

OVERALL DIMENSIONAL CONTROL & PAVING PLAN
VENTUREPARK 47
 VENTURE ONE REAL ESTATE, LLC.
 HUNTLEY, ILLINOIS

JACOB & HEFFNER ASSOCIATES
 133 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 654-0400, FAX: (630) 654-4001
 www.jacobandheffner.com



G355a
 1" = 80'
 C4.0